



# GREENS PRAIRIE RESERVE

## Residential Design Guidelines

July 2019

*Revised 2.1.2020*

*Revised 3.17.2020*

*Revised 5.11.2020*

*Revised 11.1.2020*

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## Introduction

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Greens Prairie Reserve is:

- ❖ **Natural:** The main goal of the project is to preserve the integrity of the land and incorporate as much as possible in the community design.
- ❖ **Private:** By working with the existing trees and brush to create natural buffers between dwellings and the surrounding streets, homeowners can enjoy an unmatched sense of privacy, all within minutes of modern amenities.
- ❖ **Discovery:** Curvilinear streets and trails open up to rolling land, thriving wildlife and fish-filled ponds. There is no shortage of diverse experiences and places to explore.
- ❖ **Timeless:** No trendy architecture, landscaping or amenities will take away from the classic beauty of the land and every detail – in design and quality – will be sure to stand the test of time.
- ❖ **Thoughtful:** From the land plan to the design to the project partners, great care has been taken in every step of the process to ensure that this development will be successful for the homeowners and the city.

Greens Prairie Reserve brings thriving community and nature into balance with privacy and quality dwellings.

The following Residential Architectural Guidelines (“Guidelines”) are presented as a set of development standards that assist in realizing the vision for Greens Prairie Reserve, one that enhances the quality of the land and residents’ highest values by preserving the natural environment and bringing the community together. The Guidelines are to provide the framework for essential community objectives to achieve an attractive and coordinated setting for the builders, owners and tenants. They are not intended to limit the creativity of the Builders in their design and construction as design diversity is encouraged. Builders should strive to go beyond the minimum standards and provide the most desired home designs. The intent of the Guidelines is to provide sophistication and elegant design while maintaining a casual feel. These Guidelines are supplemental to the Greens Prairie Reserve Covenants, Conditions and Restrictions (CCR's) and other related governing documents (the “Documents”) for Greens Prairie Reserve.

The Guidelines establish a process for review of all new home construction within Greens Prairie Reserve. They also set standards to ensure that all home sites are developed with the quality and consistency desired before, during, and after construction. The Guidelines are to be used by the Builders, Greens Prairie Reserve Community Association, Inc. (the “Association”) and the Greens Prairie Reserve Architectural Review Committee (“ARC”).

### General Responsibilities

To the extent that the City, County, State ordinances, EPA, current building codes or regulations, or other agency with jurisdiction over Greens Prairie Reserve exceeds or requires a more restrictive standard than the standards within these Guidelines, the local government standards shall prevail. To the extent that any local government standards are less restrictive than the standards within these Guidelines, the Guidelines shall prevail.

All Builders are required to become familiar with and abide by the Guidelines and all applicable standards. The review and approval of plans constitutes conformance with the Guidelines, though does not relieve the Builder from conformance of local, state and national codes, ordinances, and standards, as well other design considerations not reviewed by the ARC. Non-compliance of these Guidelines is grounds for disapproval of plans submitted to the ARC.

The ARC assumes no responsibility for structural integrity or for mechanical, electrical and civil design with review of the above. Pursuant to and in accordance with the Document’s, the ARC shall have the exclusive jurisdiction over the design, construction, modification, alteration, addition of all improvements regarding their compliance with the Guidelines. The ARC has the right to amend the Guidelines from time to time at its sole discretion as stated in the Documents.

Furthermore, any member of the ARC, Board, Declarant or authorized representative of shall have the right to enter upon and inspect a Lot and the exterior of the improvements for purposes of ascertaining whether or not the provisions in the Documents and Guidelines are being complied with. Such persons shall not be deemed guilty of trespassing.



**Disclaimer**

Neither the Greens Prairie Reserve Community Association, Inc., or the members of the Greens Prairie Reserve ARC or its representative, their successors or assigns, shall be liable for damages to anyone submitting plans to them for approval, or to any owner or lessee of any parcel affected by these restrictions, by reason of mistake in judgment, negligence or nonfeasance arising out of or in connection with the approval or disapproval or failure to approve any plans submitted. Every person who submits plans to the ARC for approval agrees by submission of such plans, and every owner or lessee of any parcel within the property agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against the Association or the members of the ARC or its representative, their successors or assigns, to recover any damages.

## I. Site Plan Guidelines

### A. Product Types

1. Classic: 70' Lots
2. Heritage: 90' to 110' Lots
3. Legacy: Acreage Lots

### B. Lot Types

1. Typical:
  - Lots with an adjacent Lot on each side as well as behind
2. Cul de Sac:
  - Lots located at the end of a non-through street and has an adjacent Lot and/or Lots on the left and right side
3. Corner:
  - Lots with an adjacent Lot on one side and a R.O.W. on the other. Lots adjacent to an Open Space are not considered Corner Lots.
4. Parkland:
  - Lots that back or side to the Parkland
5. Private Trail/Open Space:
  - Lots that back or side to a Private Trail or an Open Space

- C. Building Setbacks:** The following Building setbacks are established by the Developer and determined by specific Lot Location. Setbacks are measured from the Front, Side, and Rear Property Lines and determined by Sidewalk Placement. See Open Space and Connectivity Map.

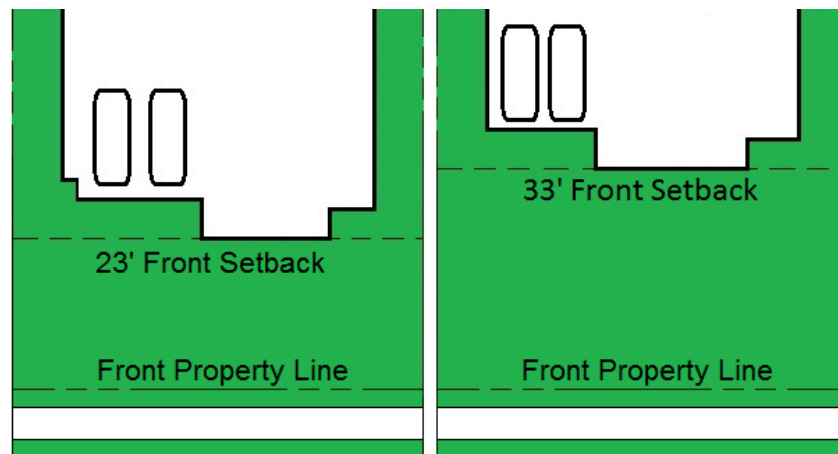
Product Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
<b>Classic: Front Loaded, Side Loaded, Swing-In Garages</b>	Typical, Private Trail, Open Space	23' with Sidewalk	33' with Sidewalk	20'	7.5'	10'	7.5'	20'
		15' with No Sidewalk	25' with No Sidewalk					
	Cul De Sac	20' with Sidewalk	30' with Sidewalk	20'	7.5'	10'	7.5'	20'
		15' with No Sidewalk	25' with No Sidewalk					
	Corner	23' with Sidewalk	33' with Sidewalk	20'	7.5'	15'	7.5'	20'
		15' with No Sidewalk	25' with No Sidewalk					

Product Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
<b>Classic: Detached Garages</b>	Typical, Private Trail, Open Space	23' with Sidewalk	33' with Sidewalk	60'	7.5'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Cul De Sac	20' with Sidewalk	30' with Sidewalk	60'	7.5'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Corner	23' with Sidewalk	33' with Sidewalk	60'	7.5'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Corner Side: Facing Corner Side R.O.W.	23' with Sidewalk	33' with Sidewalk	20'	7.5'	15'	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					

Product Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
<b>Heritage and Legacy: Side Loaded, Swing-In Garages</b>	Typical	25' with Sidewalk	35' with Sidewalk	20'	10'	10'	7.5'	20'
		15' with No Sidewalk	25' with No Sidewalk					
	Cul De Sac	20' with Sidewalk	30' with Sidewalk	20'	10'	10'	7.5'	20'
		15' with No Sidewalk	25' with No Sidewalk					
	Corner	25' with Sidewalk	35' with Sidewalk	20'	10'	15'	7.5'	20'
		15' with No Sidewalk	25' with No Sidewalk					

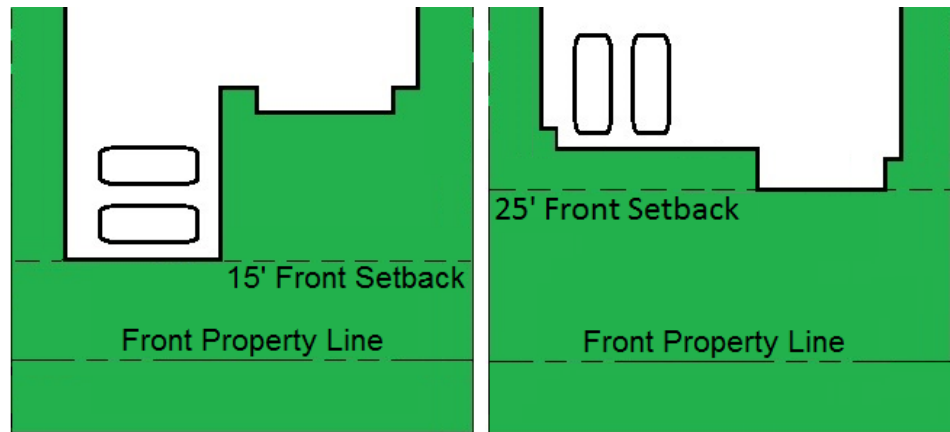
Product Type	Lot Type	Front Elevation Minimum	Front Elevation Maximum	Garage Front Elevation Minimum	Interior Side	Corner, Park Trail, and Open Space Side	1st Floor Rear	2nd Floor Rear
<b>Heritage and Legacy: Detached Garage</b>	Typical	25' with Sidewalk	35' with Sidewalk	60'	10'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Cul De Sac	20' with Sidewalk	30' with Sidewalk	60'	10'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Corner	25' with Sidewalk	35' with Sidewalk	60'	10'	Prohibited	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					
	Corner Side: Facing Corner Side R.O.W.	25' with Sidewalk	35' with Sidewalk	20'	7.5'	15'	7.5'	NA
		15' with No Sidewalk	25' with No Sidewalk					

1. Classic
  - a. Typical
    - i. Front Elevation:
      - a) Lots with required Sidewalk:
        - 1) 23' minimum
        - 2) 33' maximum



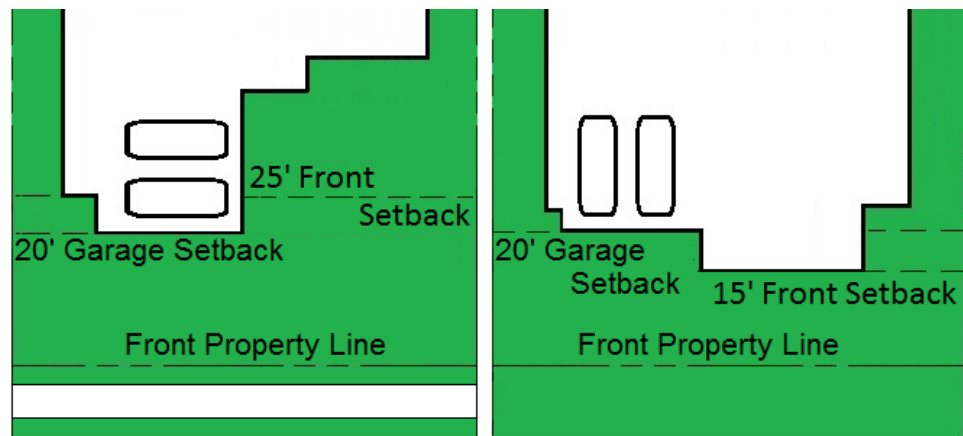
**b) Lots with No Sidewalk:**

- 1) 15' minimum
- 2) 25' maximum



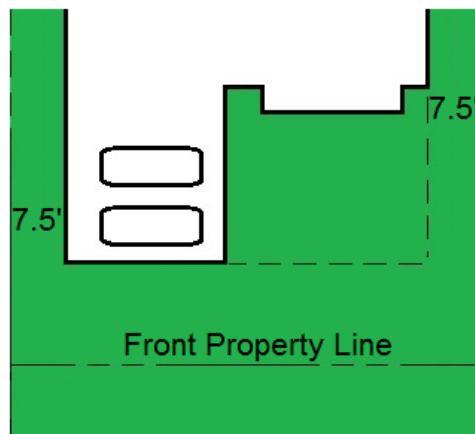
**c) Garage Front Elevation: Front Loaded, Side Loaded, Swing-In**

- 1) 20' minimum

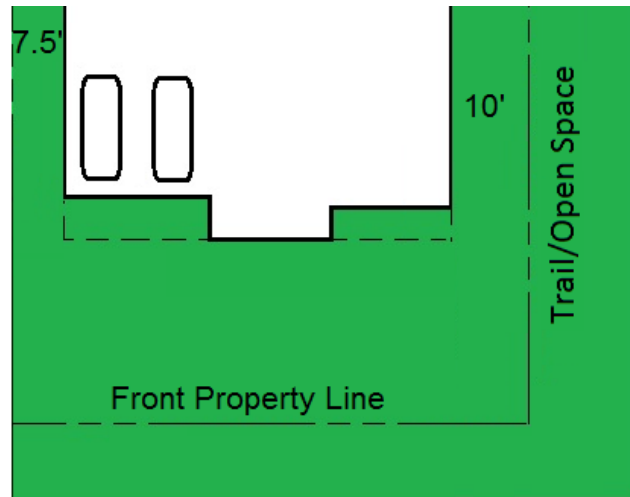


**ii. Interior Side:**

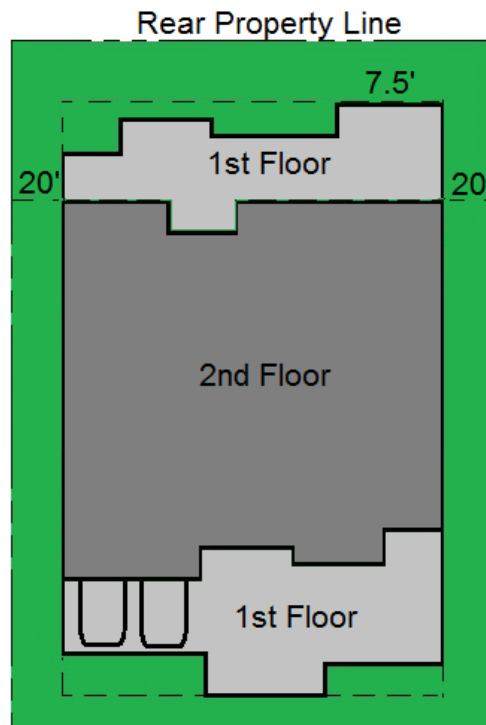
- a) 7.5' minimum



- iii. Private Trail/Open Space Side:
- a) 10' minimum, unless Lot does not accommodate, ARC approval required



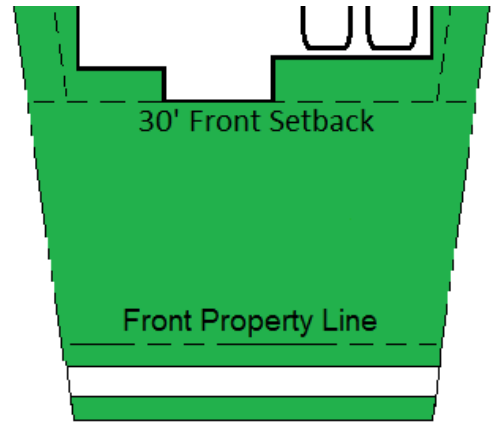
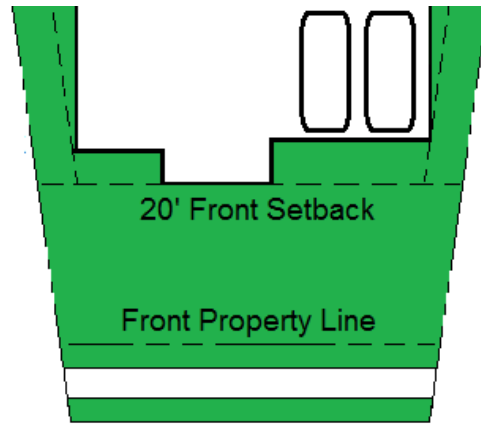
- iv. Rear:
- a) 1st floor: 7.5' minimum
  - b) 2nd floor: 20' minimum



**b. Cul de sac**

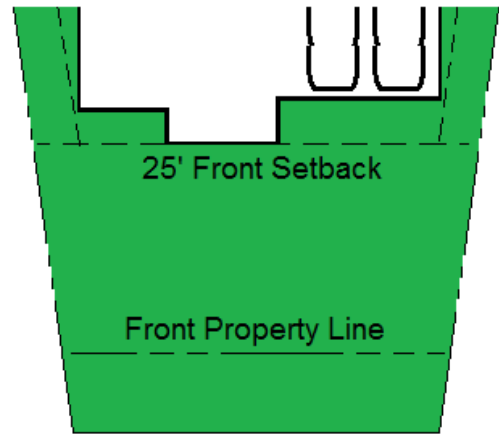
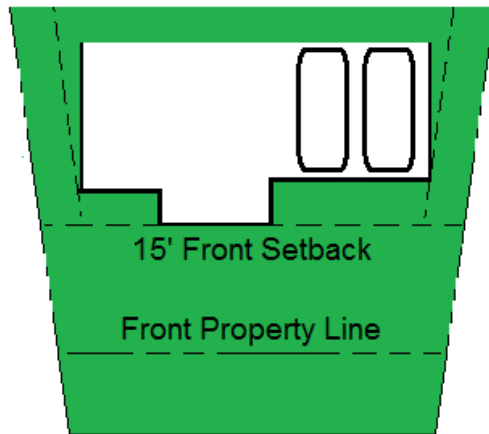
**i. Front Elevation:**

- a)** Lots with required Sidewalk
- 1) 20' minimum
  - 2) 30' maximum

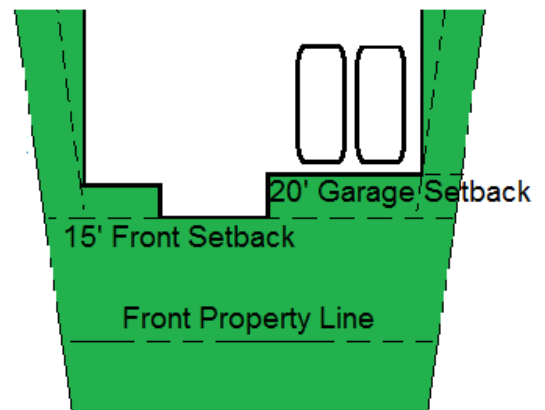
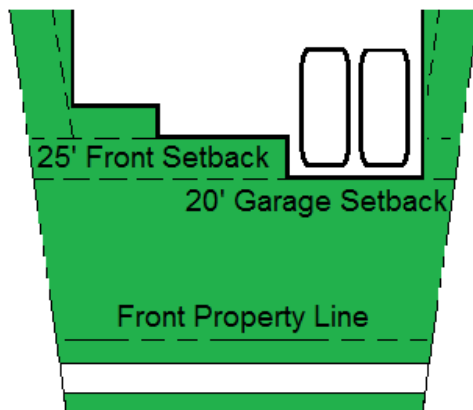


**b) Lots with No Sidewalk:**

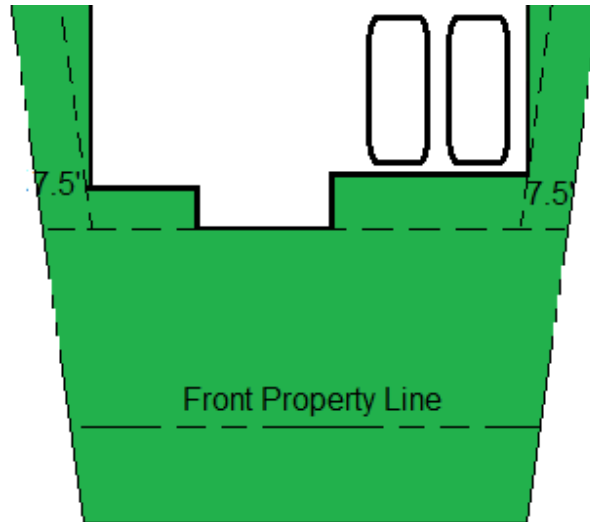
- 1) 15' minimum
- 2) 25' maximum



**c) Garage Front Elevation: 20' minimum**

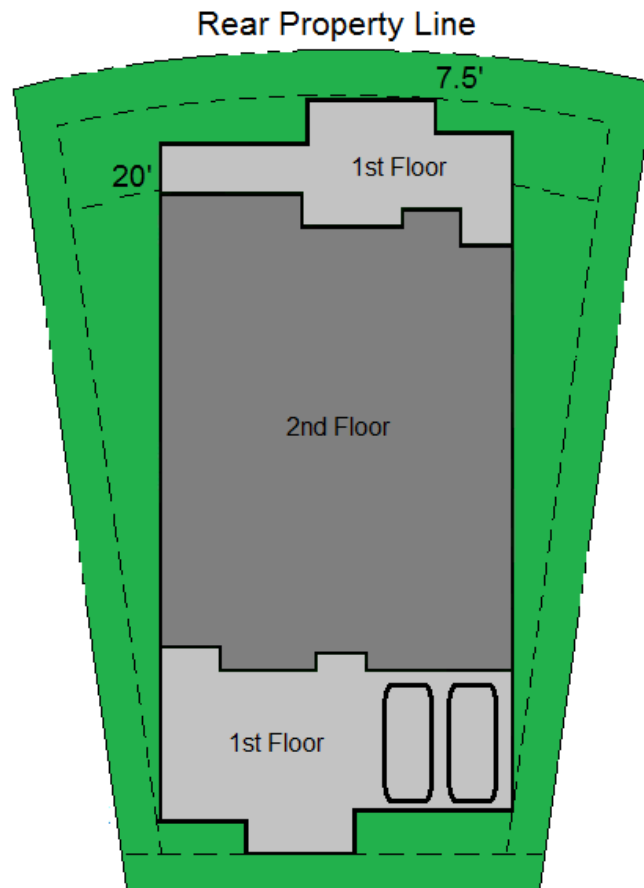


ii. Side: 7.5' minimum



iii. Rear:

- a) 1st floor: 7.5' minimum
- b) 2nd floor: 20' minimum



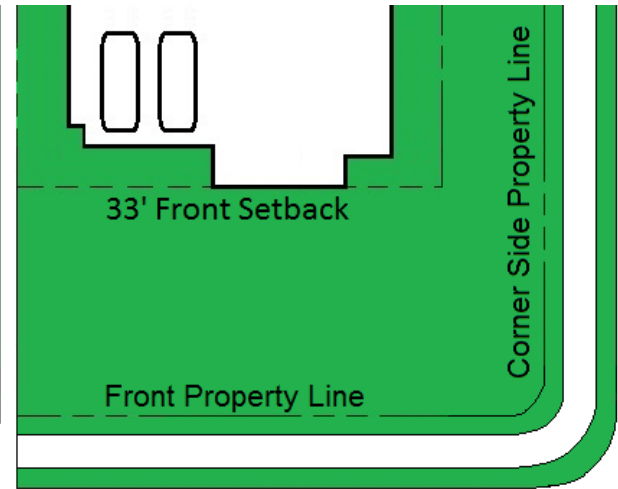
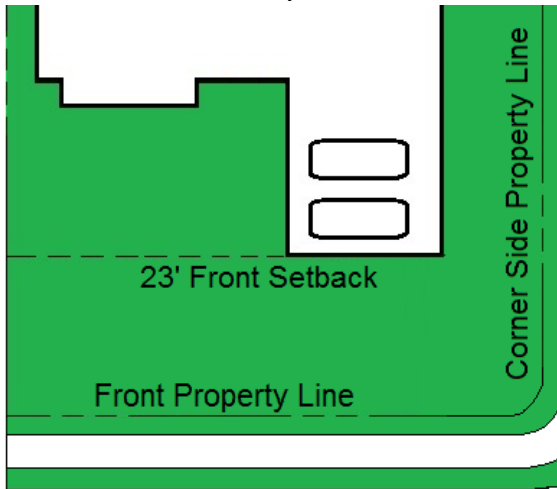


c. Corner

i. Front Elevation:

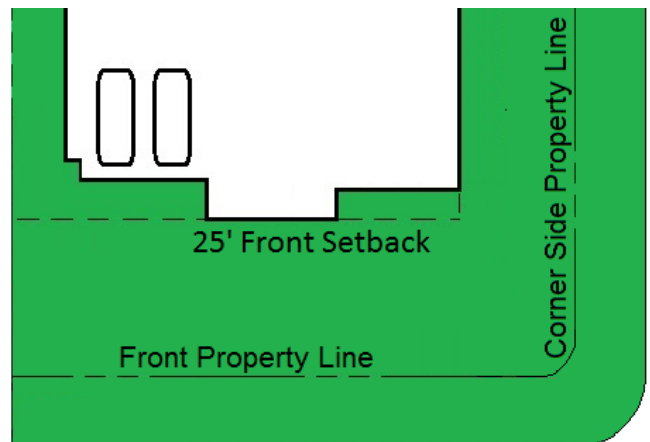
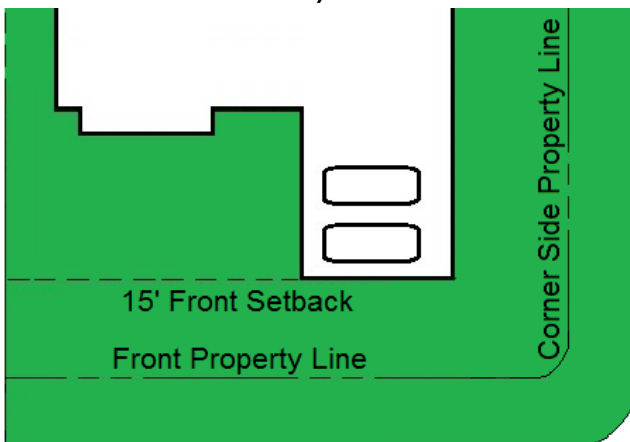
a) Lots with required Sidewalk:

- 1) 23' minimum
- 2) 33' maximum

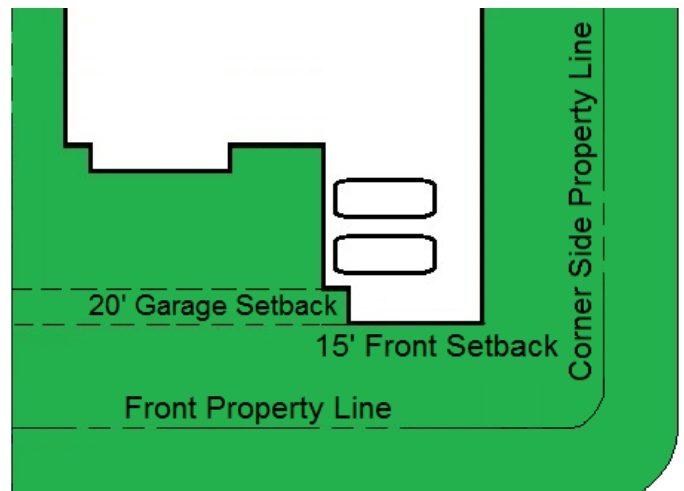
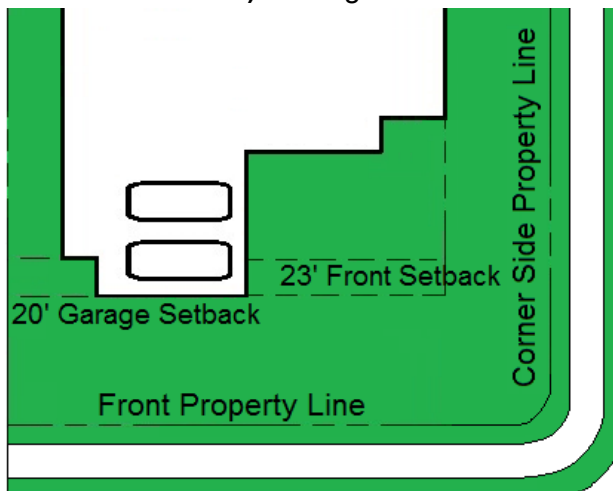


b) Lots with No Sidewalk:

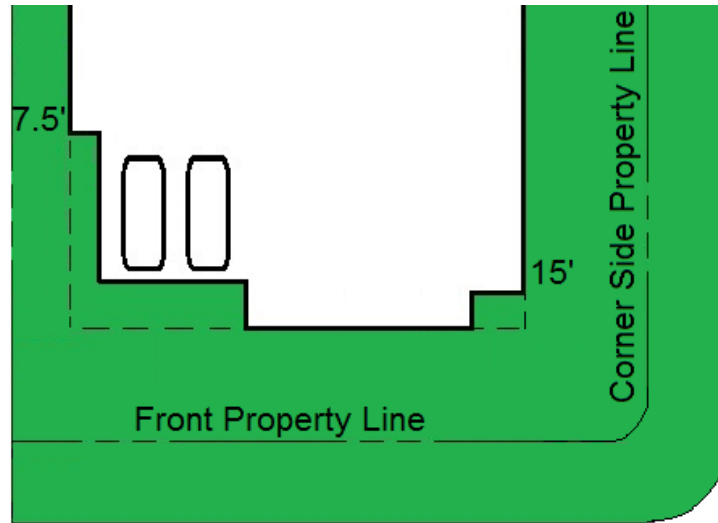
- 1) 15' minimum
- 2) 25' maximum



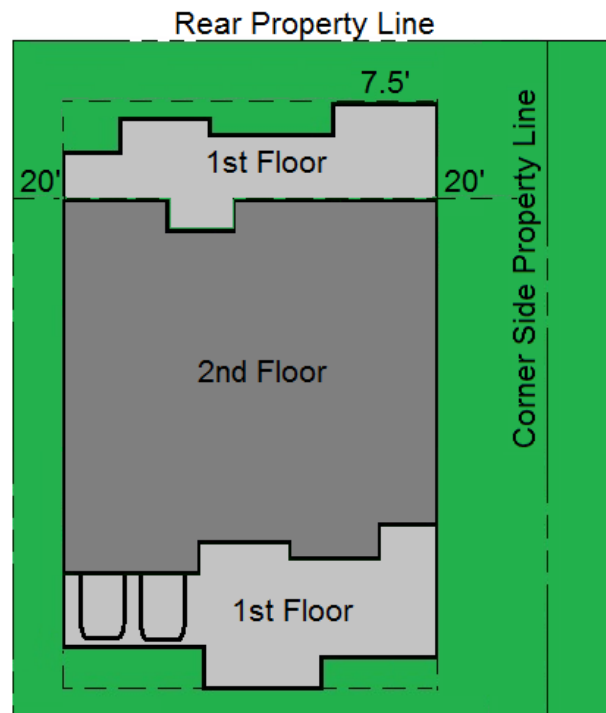
c) Garage Front Elevation: 20' minimum



- ii. Interior Side: 7.5' minimum
- iii. Corner Side: 15' minimum, unless Lot does not accommodate, ARC approval required



- iv. Rear:
  - a) 1st floor: 7.5' minimum
  - b) 2nd floor: 20' minimum



## 2. Heritage and Legacy

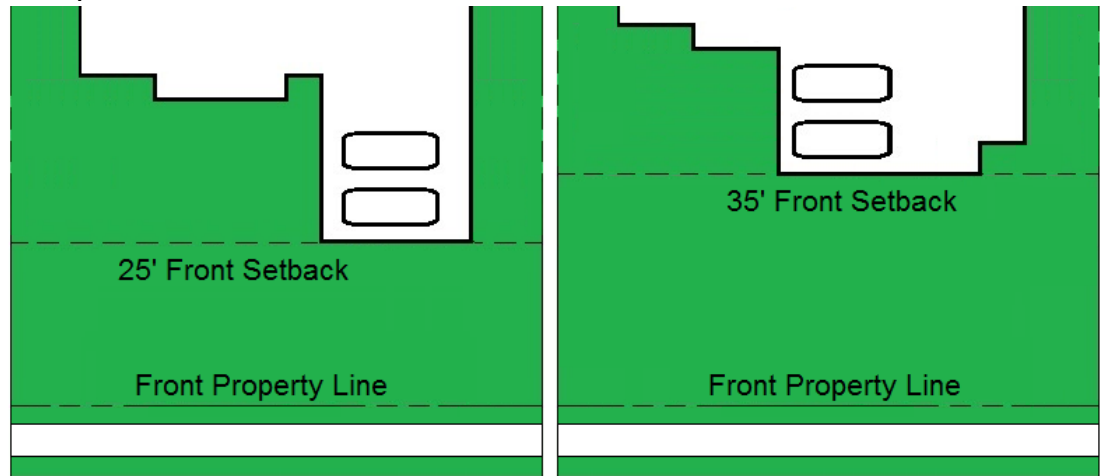
### a. Typical

#### i. Front Elevation:

##### a) Lots with required Sidewalk:

1) 25' minimum

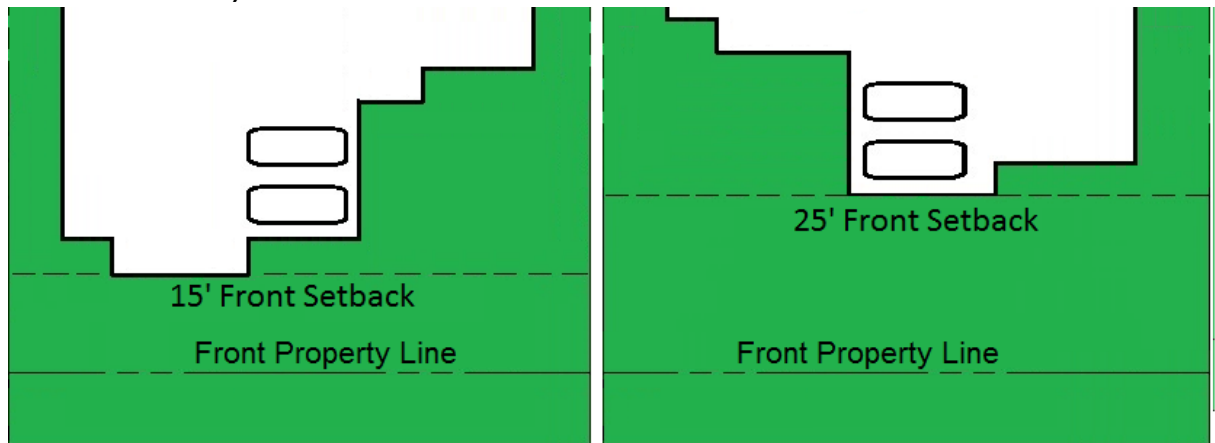
2) 35' maximum



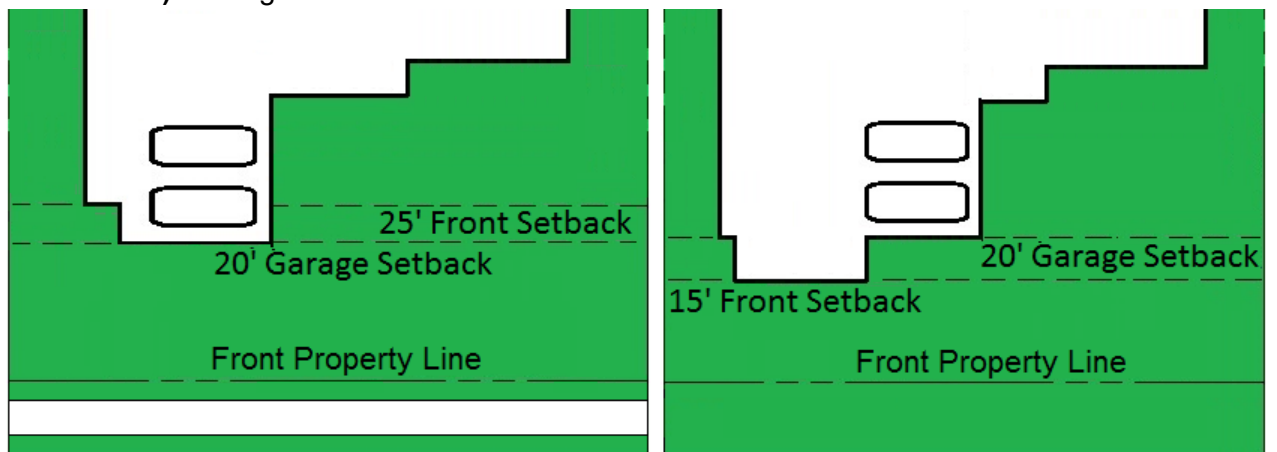
##### b) Lots with No Sidewalk:

1) 15' minimum

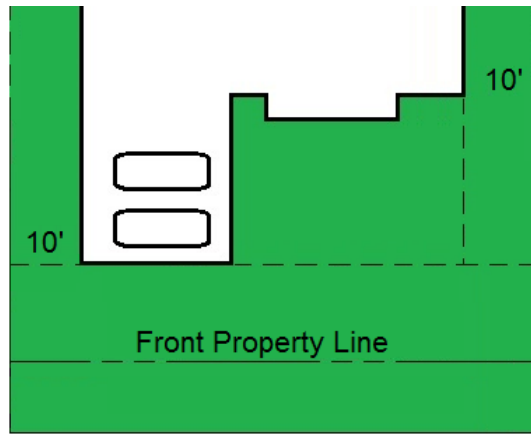
2) 25' maximum



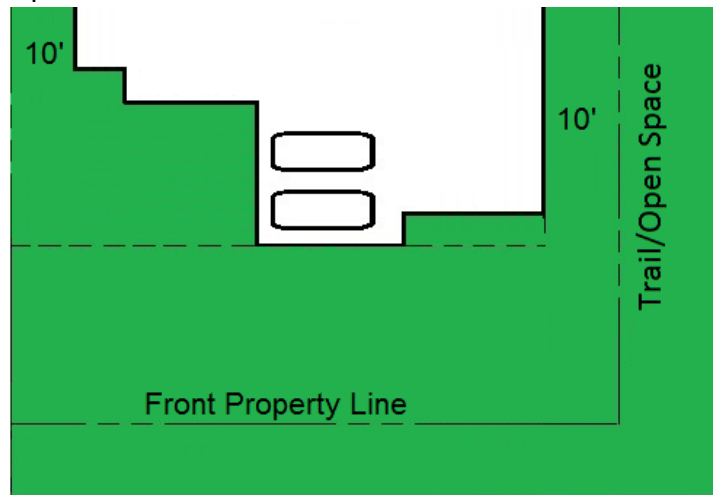
##### c) Garage Front Elevation: 20' minimum



ii. Side: 10' minimum

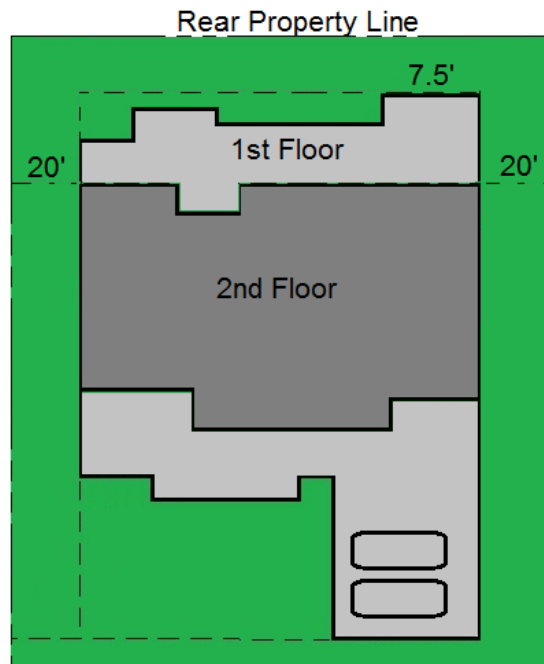


iii. Private Trail/Open Space Side: 10' minimum, unless Lot does not accommodate, ARC approval required



iv. Rear:

- a) 1st floor: 7.5' minimum
- b) 2nd floor: 20' minimum



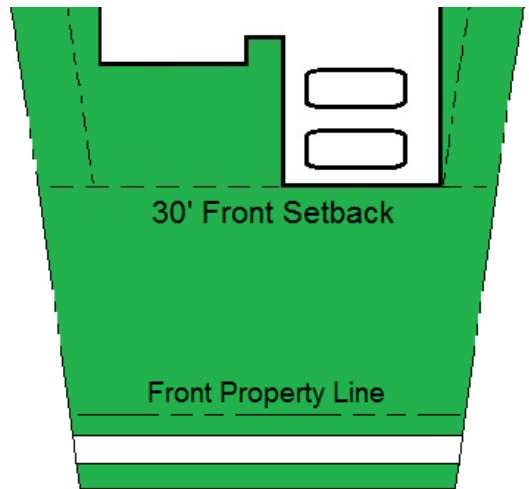
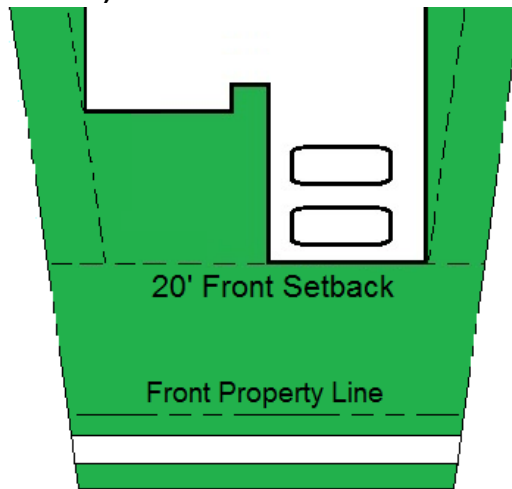
**b. Cul de sac**

**i. Front Elevation:**

**a) Lots with required Sidewalk**

1) 20' minimum

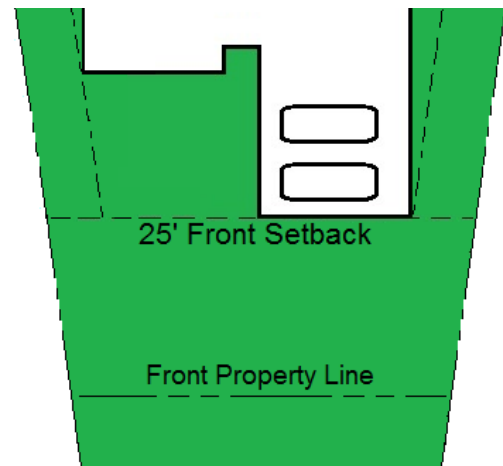
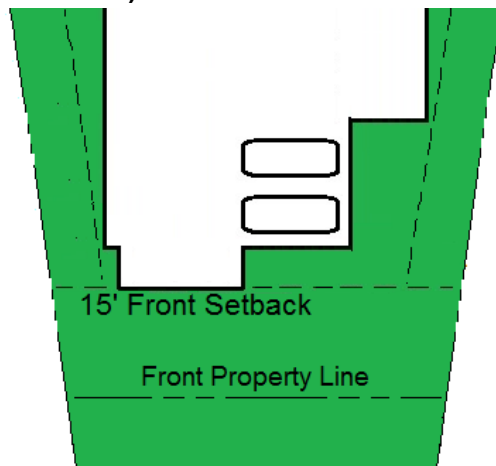
2) 30' maximum



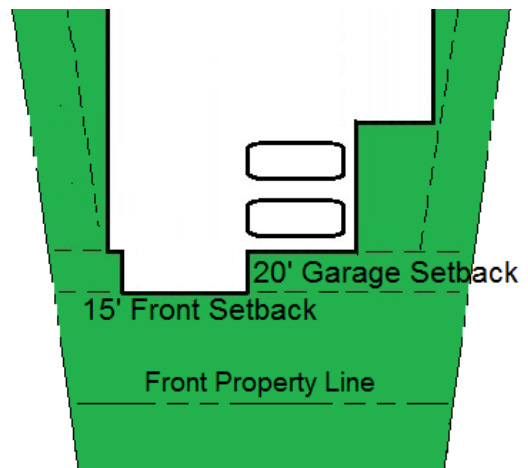
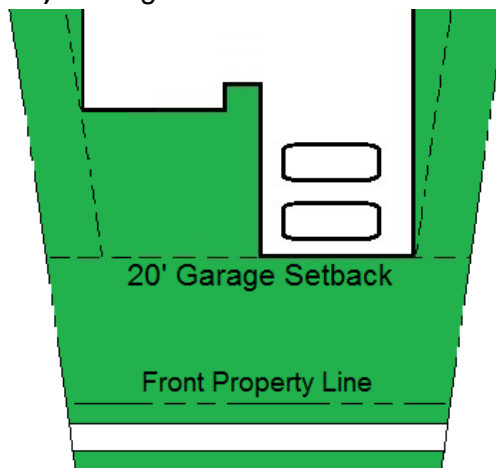
**b) Lots with No Sidewalk**

1) 15' minimum

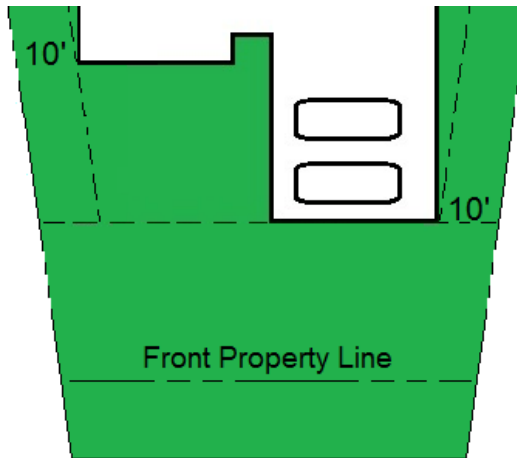
2) 25' maximum



**c) Garage Front Elevation: 20' minimum**

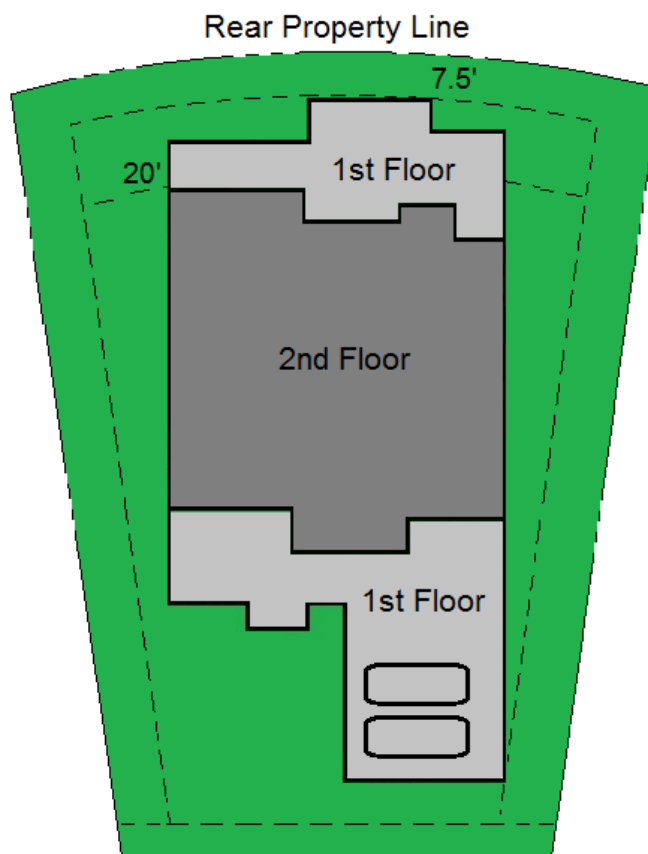


ii. Side: 10' minimum



iii. Rear

- a) 1st floor: 7.5' minimum
- b) 2nd floor: 20' minimum

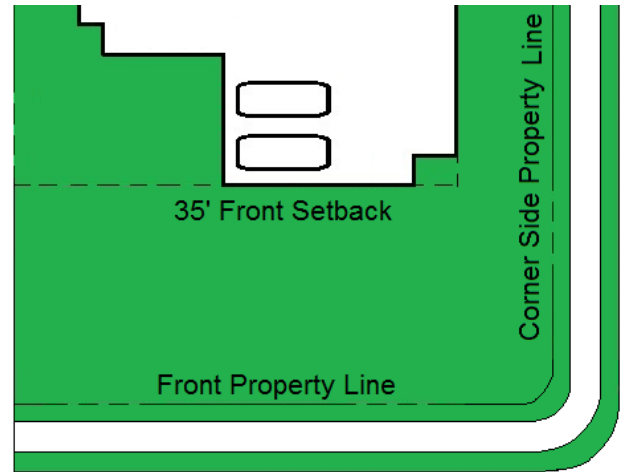
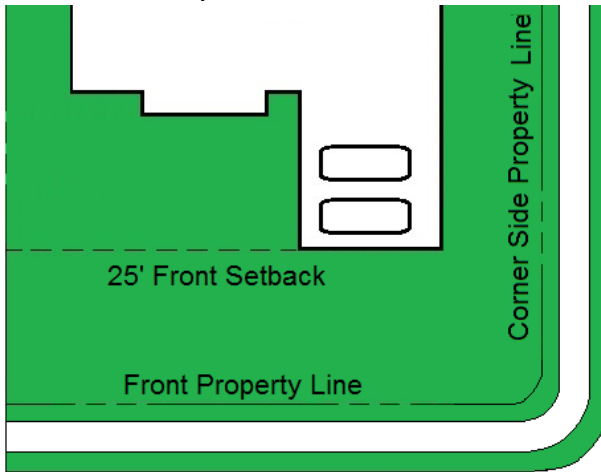


**c. Corner**

**i. Front Elevation:**

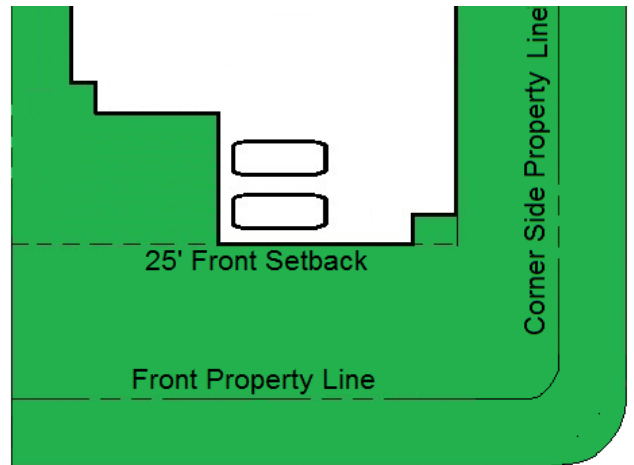
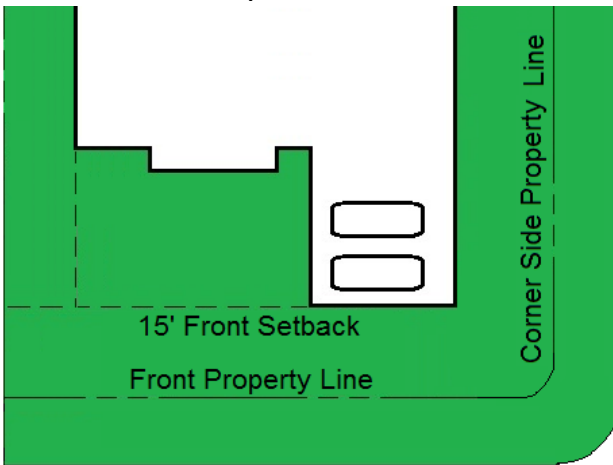
**a) Lots with required Sidewalk:**

- 1) 25' minimum
- 2) 35' maximum

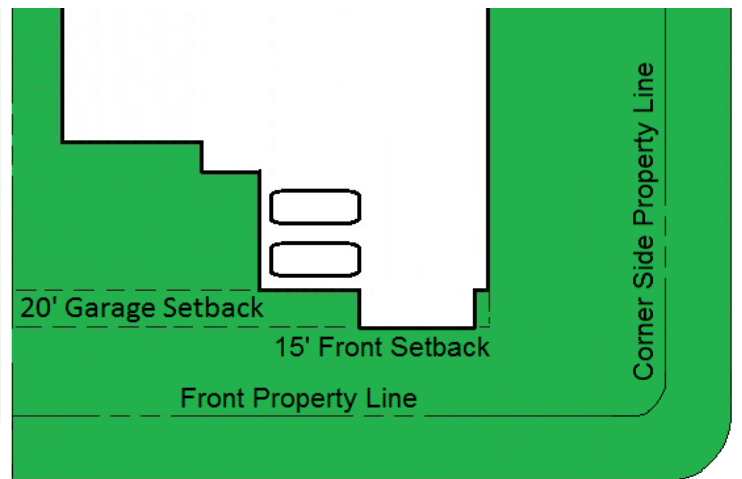
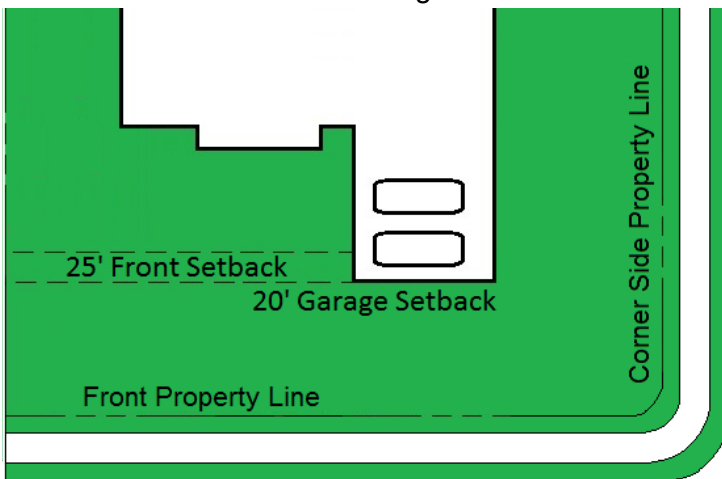


**b) Lots with No Sidewalk:**

- 1) 15' minimum
- 2) 25' maximum

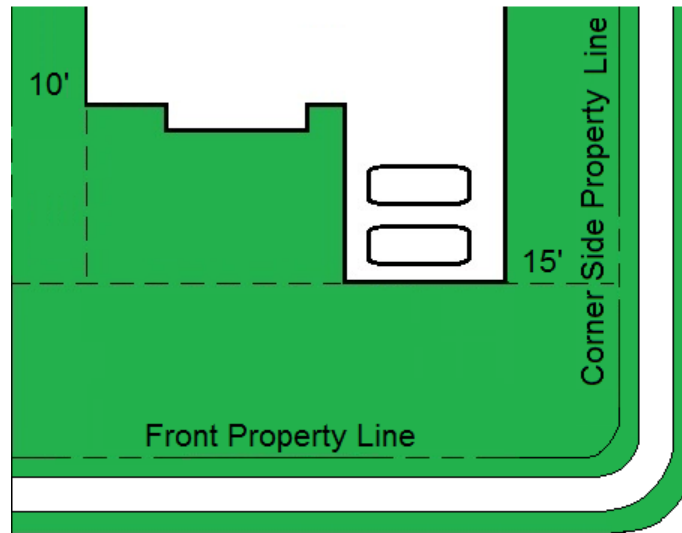


**ii. Garage Front Elevation: 20' minimum**

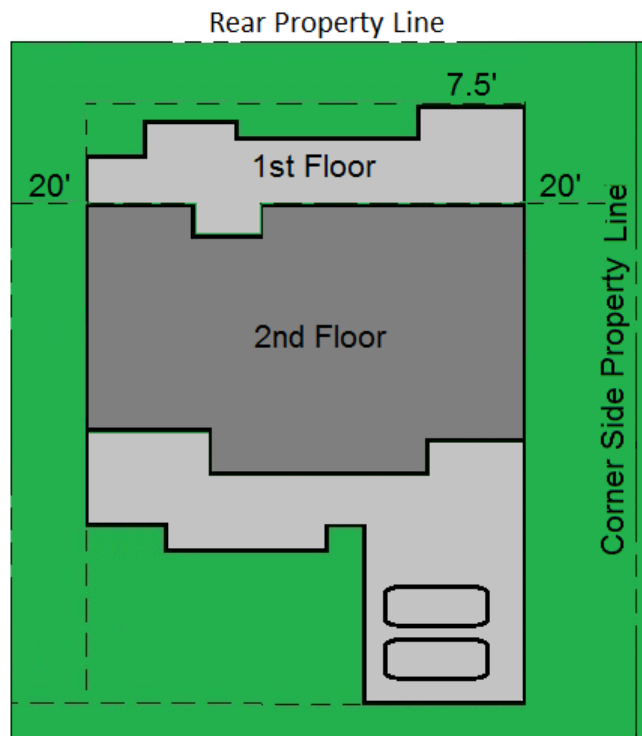


**iii. Interior Side: 10' minimum**

- iv. Corner Side: 15' minimum, unless Lot does not accommodate, ARC approval required



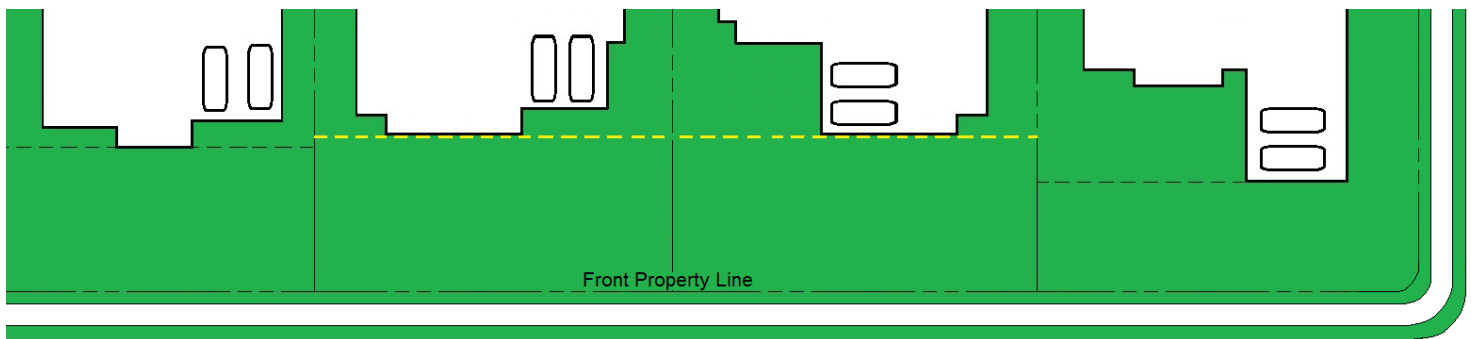
- v. Rear:
- a) 1st floor: 7.5' minimum
  - b) 2nd floor: 20' minimum





#### D. Front Elevation Off-Set

1. Front Elevation Setbacks must be Off-Set from 1 or more adjacent Lots
  - a. A minimum Off-Set of 2' from the Front Elevation of the adjacent Lot is required
  - b. No more than 2 consecutive Lots may be on the same Front Setback

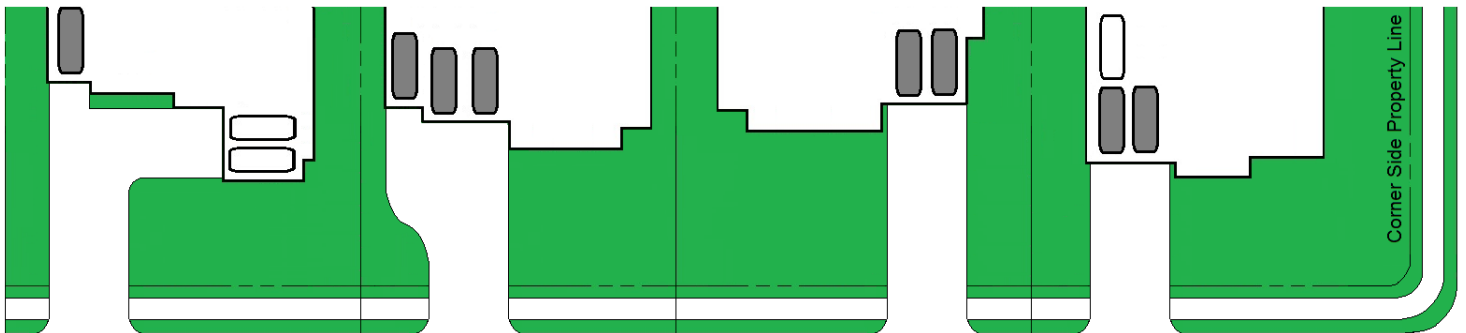


#### E. Lot Consolidation

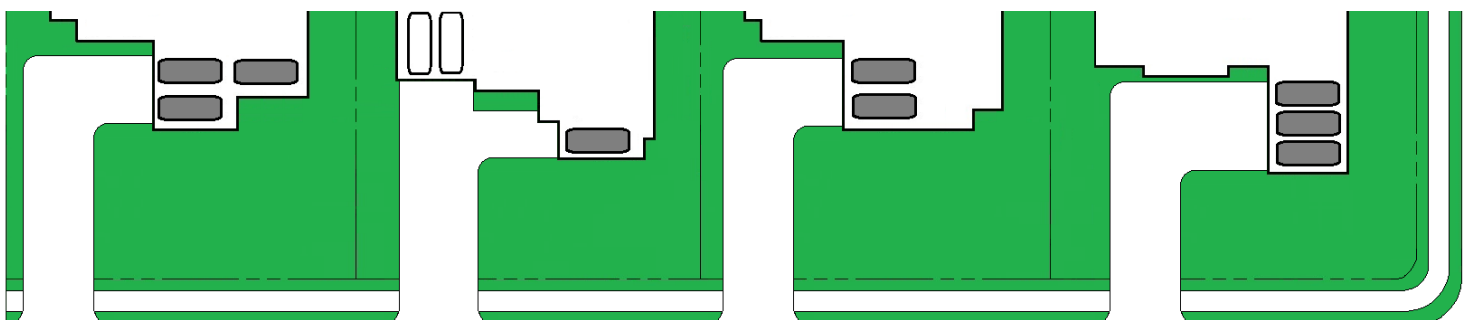
1. Allowed: Classic, Heritage and Legacy

#### F. Garages: Revised 11.1.2020

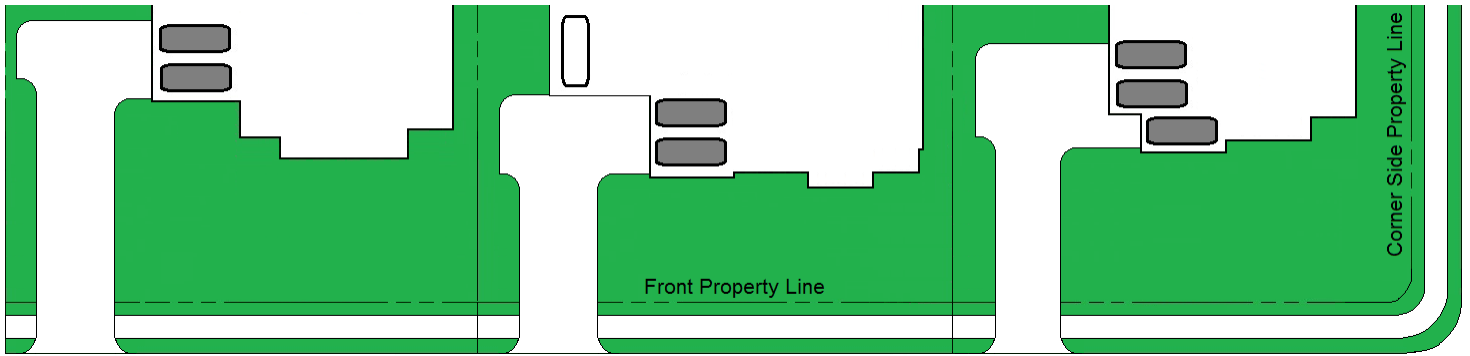
1. Required:
  - a. All Lots shall have a garage that accommodates a minimum of 2 full size cars parked side by side
  - b. Minimum Depth of 24'
  - c. Types:
    - i. Front Facing: Attached Garage Bays facing the front R.O.W. and have driveway access from the front of the Lot



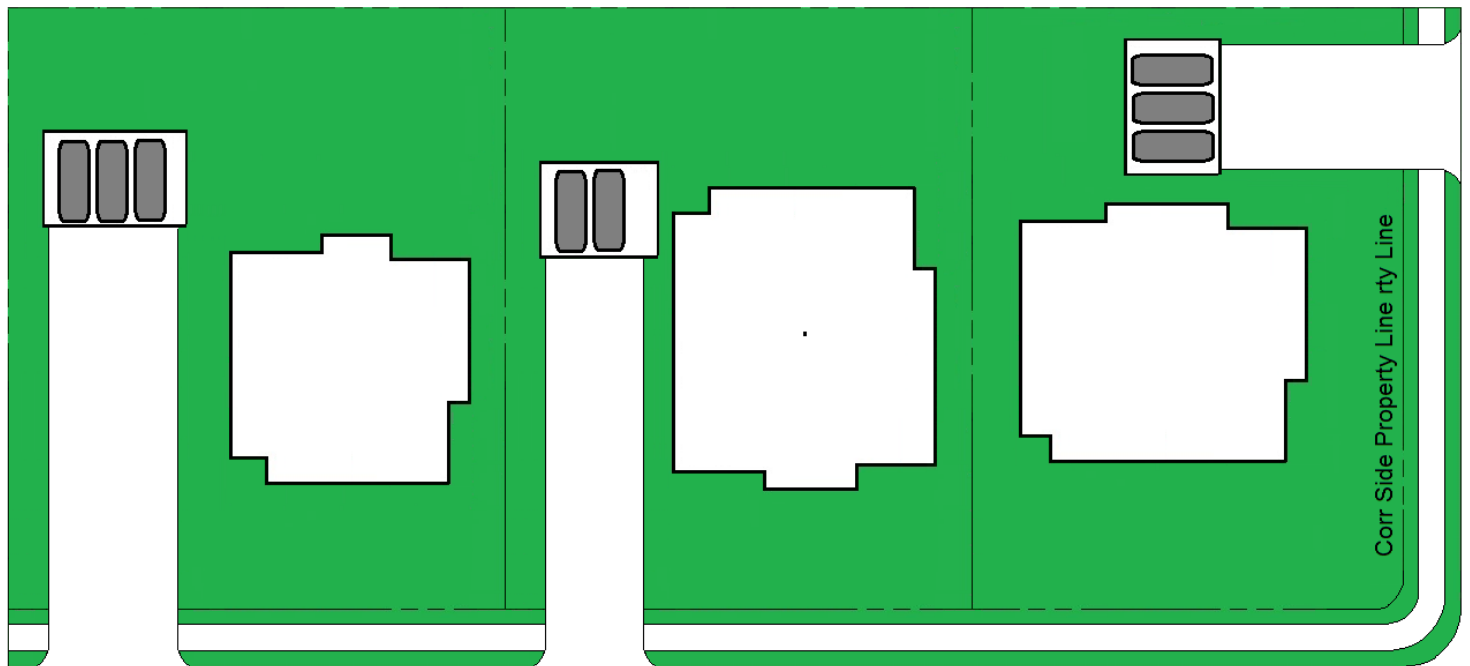
- ii. Swing-In: Garage bays in the center of a Lot, facing the Side Property Line, and have driveway access from the front of the Lot



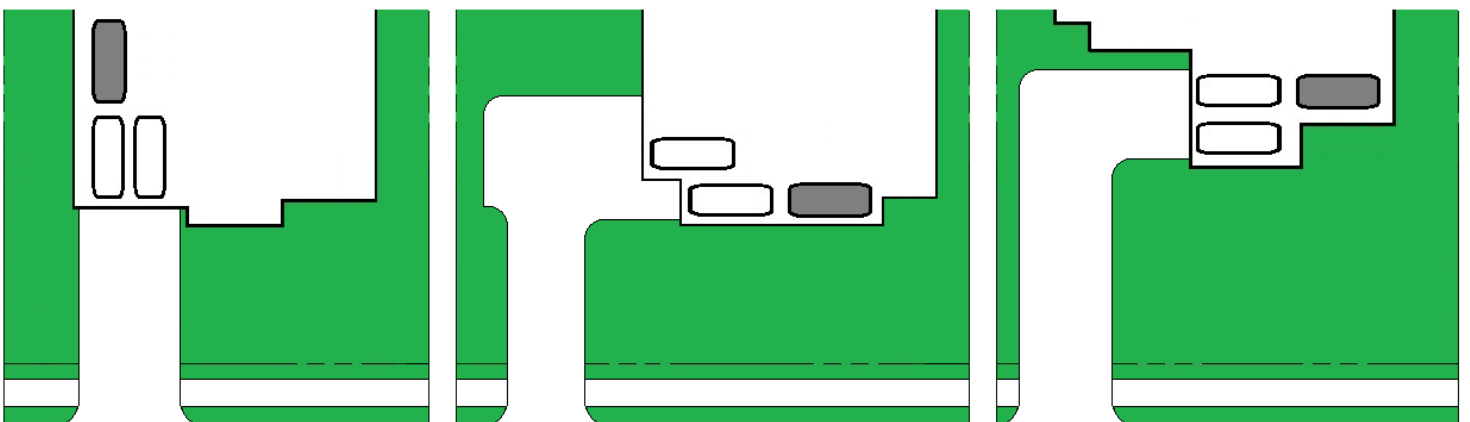
- iii. Side Loaded: Garage bays on the exterior side of the home, facing the Side Property Line, and have driveway access from the front of the Lot



- iv. Detached: Garage which is not attached to the main structure and is located at the rear of a Lot



- v. Tandem: Garage bay located directly behind a 2 bay garage



- 2. Classic Lots:**
- a. Front Facing:**
    - i. Allowed:**
      - a) One Car**
      - b) Two Car**
      - c) Three Car**
      - d) Tandem**
    - ii. Prohibited:**
      - a) Corner Side, Parkland, Open Space, Private Trail side of a Lot**
  - b. Swing-in**
    - i. Allowed:**
      - a) One car**
      - b) Two car**
      - c) Three car**
      - d) Tandem**
    - ii. Prohibited:**
      - a) Facing Corner Side R.O.W., entry into a Section, Parkland, Open Space, Private Trail side of a Lot**
      - b) Facing Side Loaded garage or another Swing-In**
  - c. Side Loaded**
    - i. Allowed:**
      - a) One car**
      - b) Two car**
      - c) Three car**
      - d) Tandem**
    - ii. Prohibited:**
      - a) Facing Corner Side R.O.W., entry into a Section Parkland, Open Space, Private Trail side of a Lot**
      - b) Facing Swing-In garage or another Side Loaded**
  - d. Detached Garage Front Facing: Garage bays facing Front R.O.W.**
    - i. Allowed**
      - a) Two car**
      - b) Three car**
    - ii. Prohibited:**
      - a) Facing Corner Side R.O.W., entry into a Section Parkland, Open Space, Private Trail side of a Lot**
  - e. Corner Side Detached: Facing Corner Side R.O.W.**
    - i. Allowed:**
      - a) Two car**
      - b) Three car**
    - ii. Prohibited:**
      - a) Front of the Lot, facing Entry into a Section Parkland, Open Space, Private Trail side of a Lot**

3. Heritage and Legacy Lots: *revised 11.1.2020*
  - a. Swing-in
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
    - ii. Prohibited:
      - a) Facing Corner Side R.O.W., entry into a Section Parkland, Open Space, Private Trail side of a Lot
      - b) Facing Side Loaded garage or another Swing-In
  - b. Side Loaded
    - i. Allowed:
      - a) One car
      - b) Two car
      - c) Three car
    - ii. Prohibited:
      - a) Facing Corner Side R.O.W., entry into a Section Parkland, Open Space, Private Trail side of a Lot
      - b) Facing Swing-In garage or another Side Loaded
  - c. Front Loaded: *revised 11.1.2020*
    - i. Allowed:
      - a) One Car Front Loaded with 2 Car Swing or Side Loaded
    - ii. Prohibited:
      - a) Two Car Front Loaded
  - d. Detached Garage Front Facing: Facing Front R.O.W.
    - i. Allowed
      - c) Two car
      - d) Three car
    - ii. Prohibited:
      - a) Facing Corner Side R.O.W., entry into a Section Parkland, Open Space, Private Trail side of a Lot
  - e. Corner Side Detached: Facing Corner Side R.O.W.
    - i. Allowed:
      - c) Two car
      - d) Three car
    - ii. Prohibited:
      - a) Front of the Lot, facing entry into a Section Parkland, Open Space, Private Trail side of a Lot
4. Prohibited
  - a. Front Facing Garages
  - b. Carports
  - c. Garage Conversions

**G. Driveways** revised 5.11.2020

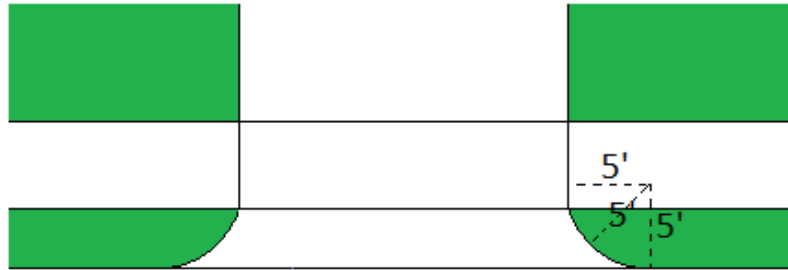
1. Refer to County Ordinances for Construction Guidelines and ADA requirements.
2. Minimum and maximum widths are measured at the Front Property Line.
3. Classic Lot Driveway Width: revised 5.11.2020

Garage Type	Number of Cars	Minimum at Front Property Line	Maximum at Front Property Line	Maximum at Garage Face
Attached Front Facing	2 Car*	12'	18'	20'
	3 Car		24'	28'
Attached Side Loaded	2 Car	12'	16'	20'
	3 Car		16'	28'
Attached Swing In	2 Car	12'	16'	20'
	3 Car		16'	28'
Detached Front Loaded	2 Car*	12'	18'	20'
	3 Car		24'	28'
Corner Side Loaded and Detached	2 Car*	12'	18'	20'
	3 Car		24'	28'
*May exceed Maximum with ARC approval				

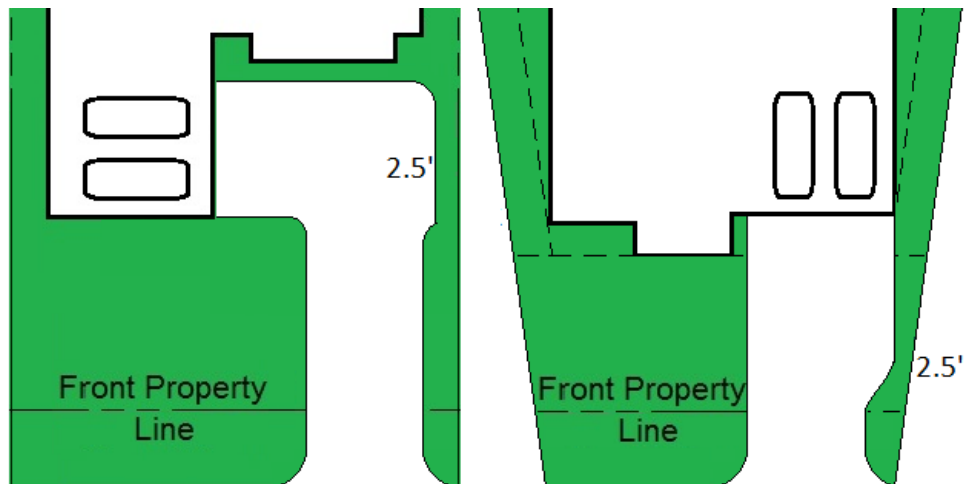
**4. Heritage Lot Driveway Widths:**

Garage Type	Number of Cars	Minimum at Front Property Line	Maximum at Front Property Line	Maximum at Garage Face
Attached Side Loaded	2 Car	12'	16'	20'
	3 Car		16'	28'
Attached Swing In	2 Car	12'	16'	20'
	3 Car		16'	28'
Corner Side Loaded and Detached	2 Car*	12'	18'	20'
	3 Car		24'	28'
*May exceed Maximum with ARC approval				

5. Legacy Lot Driveway Width:
  - a. ARC approval per Lot
6. Prohibited Driveways
  - a. Front Loaded on Corner Side of the Lot, facing Front R.O.W.
  - b. Swing-in or Side Loaded on the Corner Side of the Lot
  - c. Detached Front Loaded on the Corner side of the Lot facing the Front R.O.W.
  - d. Open Space or Park Trail side of a Lot
7. Materials: *revised 11.1.2020*
  - a. Required:
    - i. Exposed Aggregate
  - b. Allowed Accent Borders:
    - i. Stamped or colored concrete pavers, brick, or flagstone with ARC approval
    - ii. Must match architectural style, color and materials of the home
      - a) When decorative materials are used, the public sidewalk shall not carry through
  - c. Materials Prohibited:
    - i. Asphalt, loose gravel/pea gravel, stone, timber boarders
8. Driveway Radius
  - a. 5'

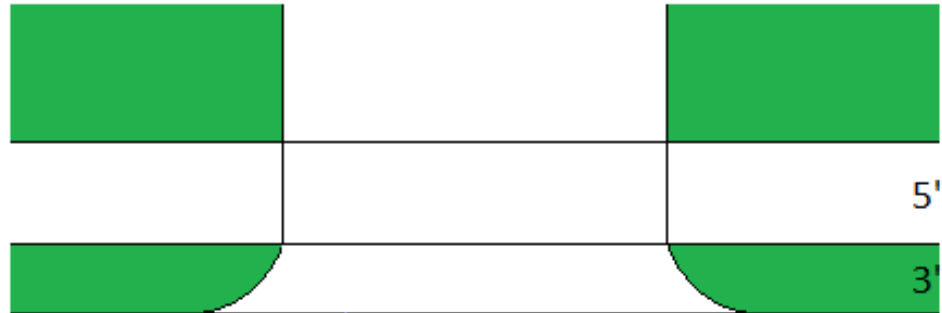


9. Driveway Side Setbacks from Side P.L.
  - a. Minimum 2.5'



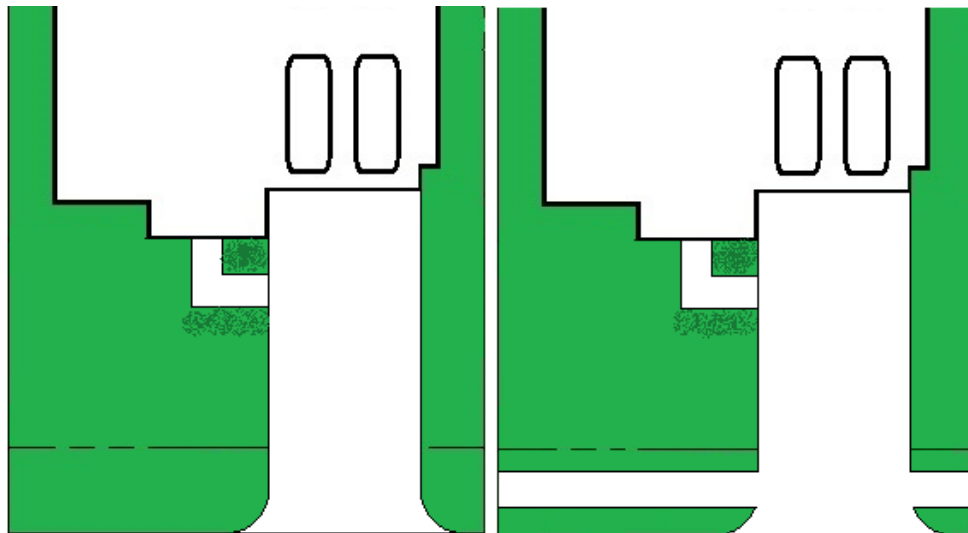
**H. Sidewalks:** *revised 2.1.2020.* Developer installed. Builder must replace/repair any damaged Sidewalk per Development Specifications. See Open Space and Connectivity Map.

1. Material
  - a. Concrete
2. Width
  - a. 5'
3. Placement
  - a. 3' from the back of the curb

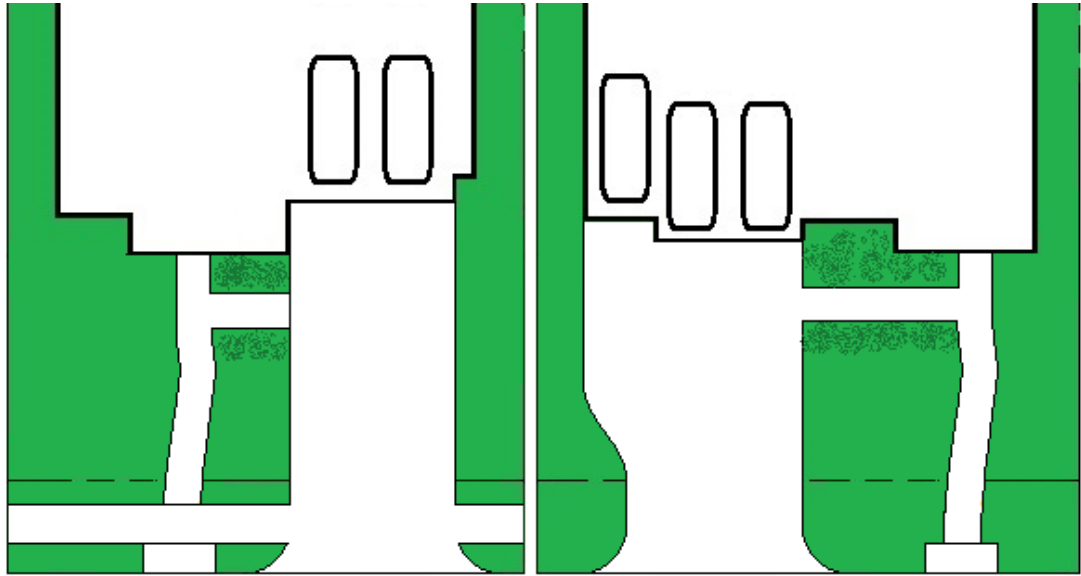


**I. Walkways**

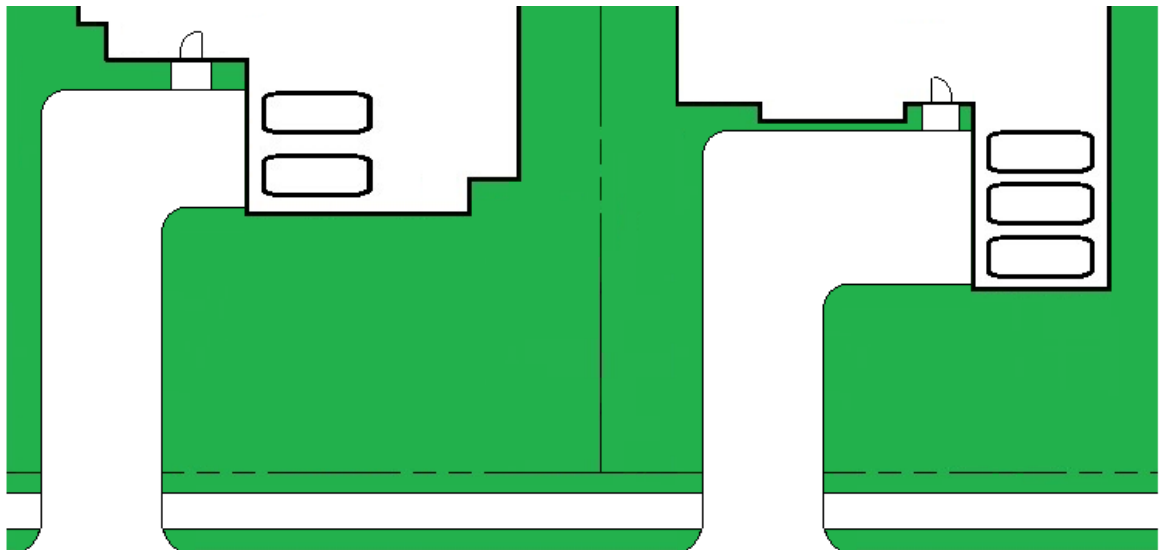
1. Placement
  - a. Front Facing:
    - i. Must Lead from front elevation to driveway
      - a) Must have 2' deep Planting Area between foundation, Driveway, and Walkway
      - b) Must have Landscape Screening facing Front R.O.W.



- ii. May lead from front elevation to Driveway and curb
  - a) Must have 2' deep Planting Area between foundation, Driveway, and Walkway
  - b) Must have Landscape Screening facing Front R.O.W.

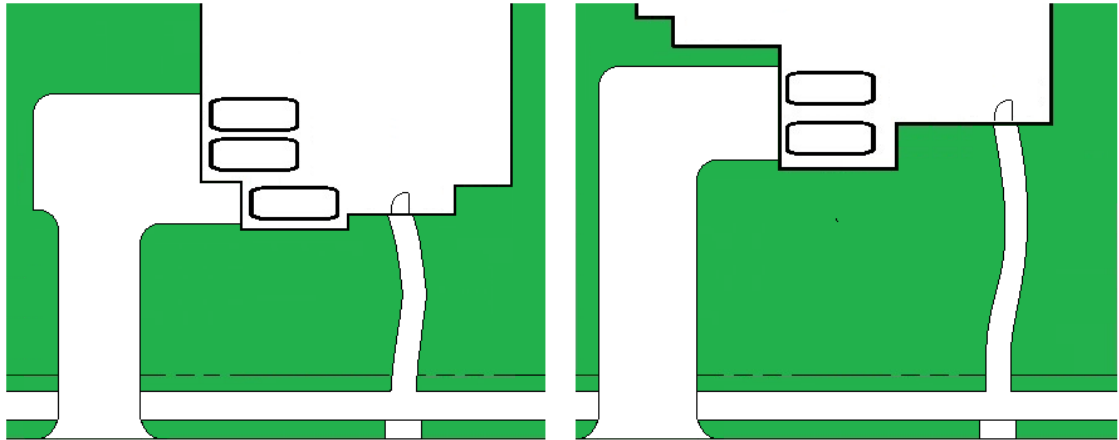


- b. Swing-In:
  - i. Must not lead to Driveway
  - ii. Landscape Screening not required for interior Front Entry





- c. Side Loaded:
  - i. Must lead from front elevation to back of curb
  - ii. Must not lead to Driveway



- 2. Width
  - a. 3' minimum
  - b. 5' maximum with decorative border
- 3. Materials: *revised 11.1.2020*
  - a. Required: Exposed Aggregate to match Driveway material
  - b. Allowed Accent Borders: Stamped or colored concrete, concrete pavers, brick, or flagstone with ARC approval
  - c. Prohibited: Finished cement, asphalt, loose gravel/pea gravel, stone, timber boarders

**J. Walkway Landings** *revised 11.1.2020*

- 1. Required for Walkways leading form the front elevation to the curb, Builder installed
- 2. Size:
  - a. 3'x6' landing



- 3. Placement
  - a. Back of curb
- 4. Materials:
  - a. Must match walkway
- 5. Materials Prohibited:
  - a. Required: Exposed Aggregate to match Driveway material
  - b. Allowed Accent Borders: Stamped or colored concrete, concrete pavers, brick, or flagstone with ARC approval
  - c. Prohibited: Finished cement, asphalt, loose gravel/pea gravel, stone, timber boarders

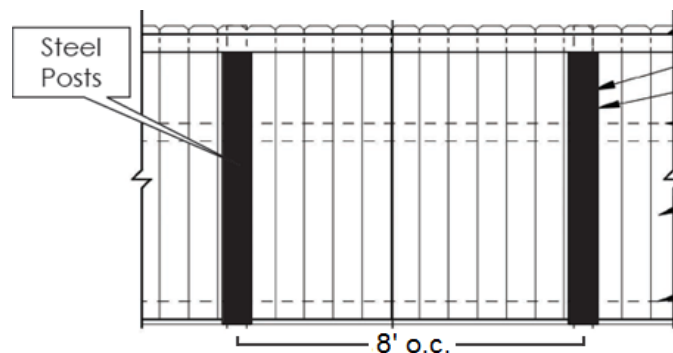
## K. Parking

1. Parking restrictions are established by City Ordinance for City of College Station Enforcement.
2. Parking is restricted to one designated side of the local roadway. Refer to Exhibit.

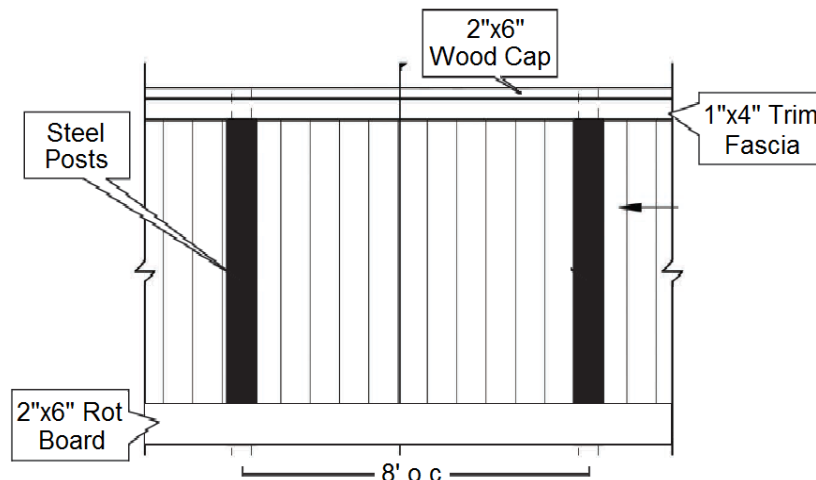
## L. Fencing: revised 5.11.2020

### 1. Fence Types

- a. Smooth Side/Back Side: All boards facing one side
  - i. 6', 1"x6", No.2 Cedar pickets
  - ii. 3, 2"x4" wood stringers
  - iii. Steel Posts: revised 5.11.2020
    - a) When both sides are preferred to be Smooth Side, Builders must work with adjacent Lot to acquire approval to access Steel Posts.
      - 1) If alternative construction required, ARC approve required.
  - iv. 8D galvanized screw shank nails
- b. Builder may determine upon application which sides to be Smooth Side/Back Side

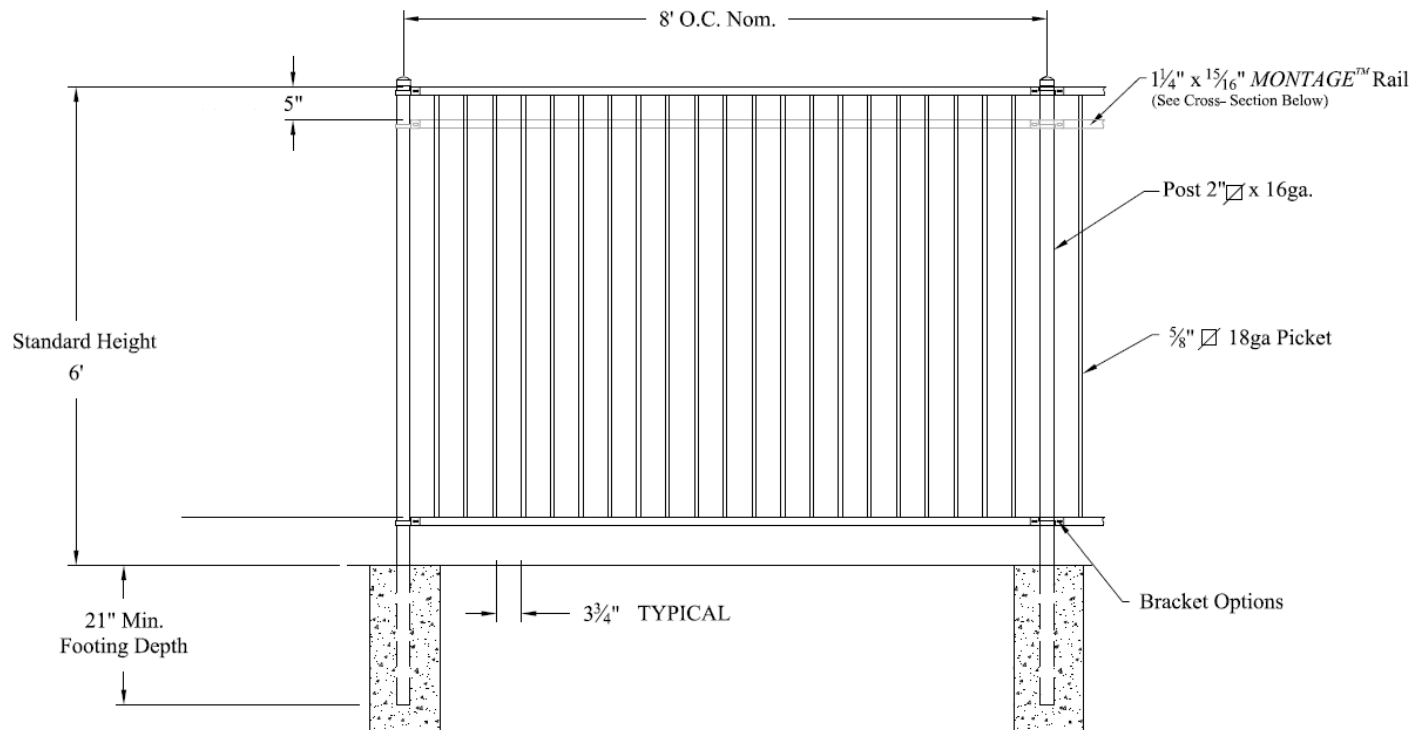


- c. Upgraded Wood Facing Public View:
  - i. 6', 1"x6", No.2 Cedar pickets
  - ii. 3, 2"x4" wood stringers
  - iii. Steel Posts: revised 5.11.2020
    - a) When both sides are preferred to be Smooth Side, Builders must work with adjacent Lot to acquire approval to access Steel Posts.
      - 1) If alternative construction required, ARC approve required.
  - iv. 8D galvanized screw shank nails
  - v. 2"x 6" Wood Cap with 1"x4" Wood Fascia Rail (Trim Board)
  - vi. 2"x6" Rot Board (Kickboard)
  - vii. 8D galvanized screw shank nails
  - viii. 6' 8" Total Fence height



**d. Steel: revised 3.17.2020**

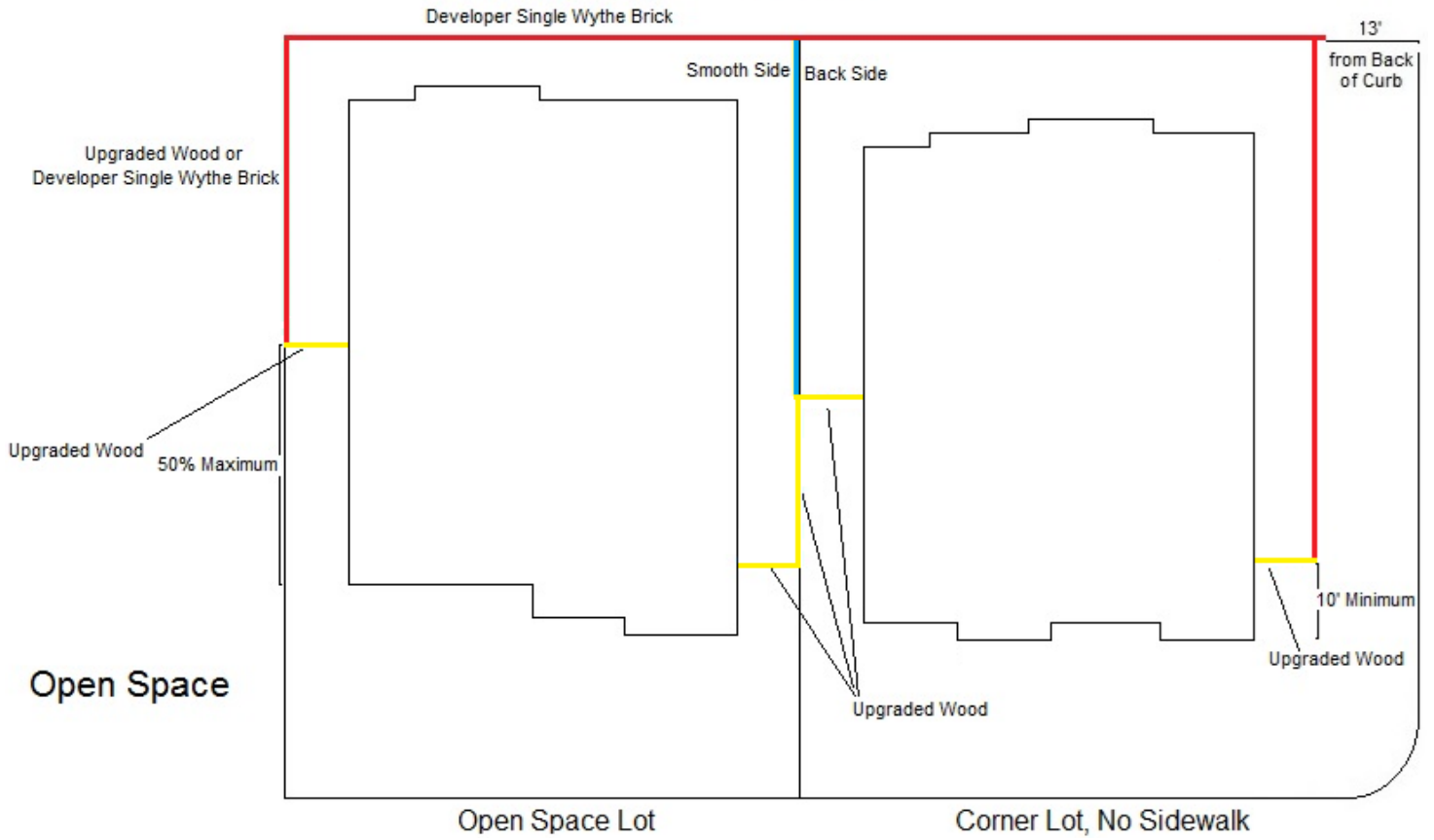
- i. Ameristar Montage Majestic, Residential Line
- ii. 6' Fence height
- iii. 3 Rail
- iv. Flush bottom
- v. Black Color



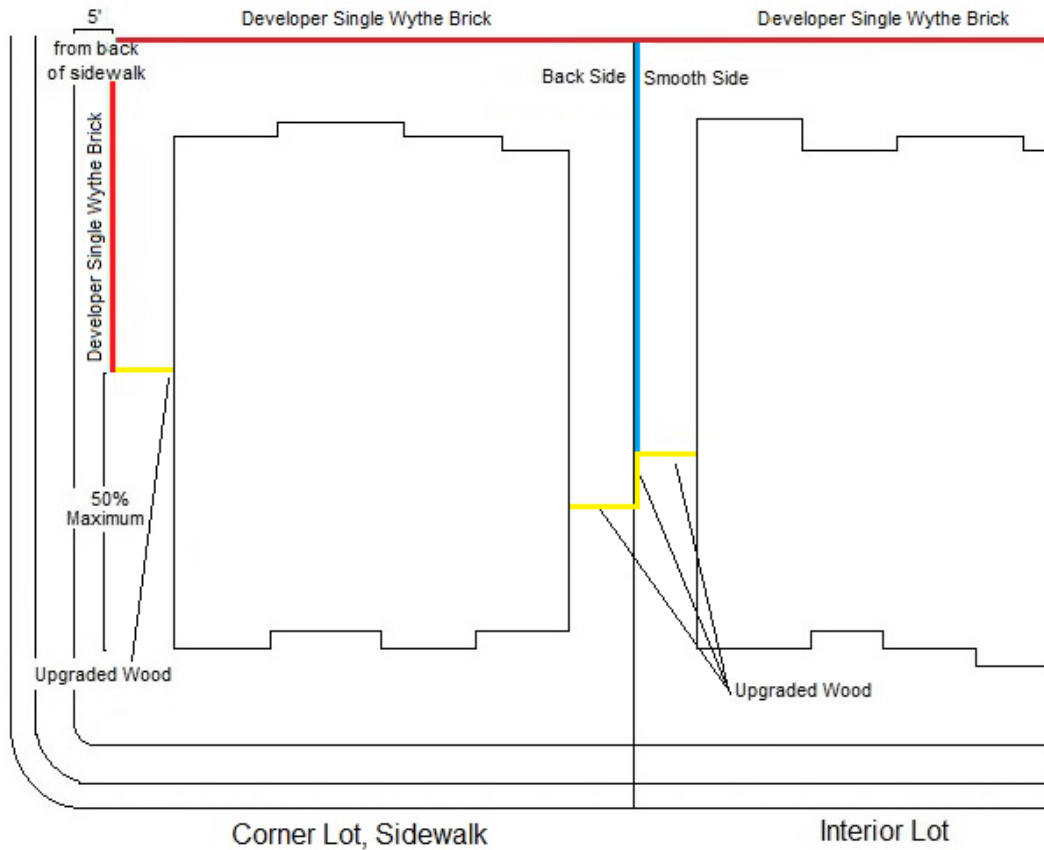
**2. Fence Type and Location: revised 3.17.2020. As determined by Section Specific Fence Plans.**

- a. Parkland Lots: Lots backing to the Parkland area**
  - i. Front Fence Returns: Left & Right side facing R.O.W.
    - a) Upgraded Wood Facing Public View or 6' Steel
    - b) Setback from closest Front Elevation corner of home
      - Minimum 10' to maximum 50% of the Side Elevation
      - Must enclose HVAC system
  - ii. Visible Side Fence: Fencing visible between adjacent Front Fence Returns
    - a) Upgraded Wood Facing Public View or 6' Steel
  - iii. Non-Visible within Public View: Lots with rear and/or side Developer Single Wythe Brick or Upgraded Wood fencing
    - a) Smooth Side/Back Side
      - 1) If Smooth Side on both sides preferred, see Fencing
  - iv. Rear Fence: Fencing along the Rear Property Line
    - a) Developer Single Wythe Brick Fence
  - v. Reserve Side Fence: Fencing facing a Reserve
    - a) Developer Single Wythe Brick or Upgraded Wood Facing Public View
  - vi. Corner Side Fence: Fencing facing Corner side street
    - a) Developer Single Wythe Brick Fence

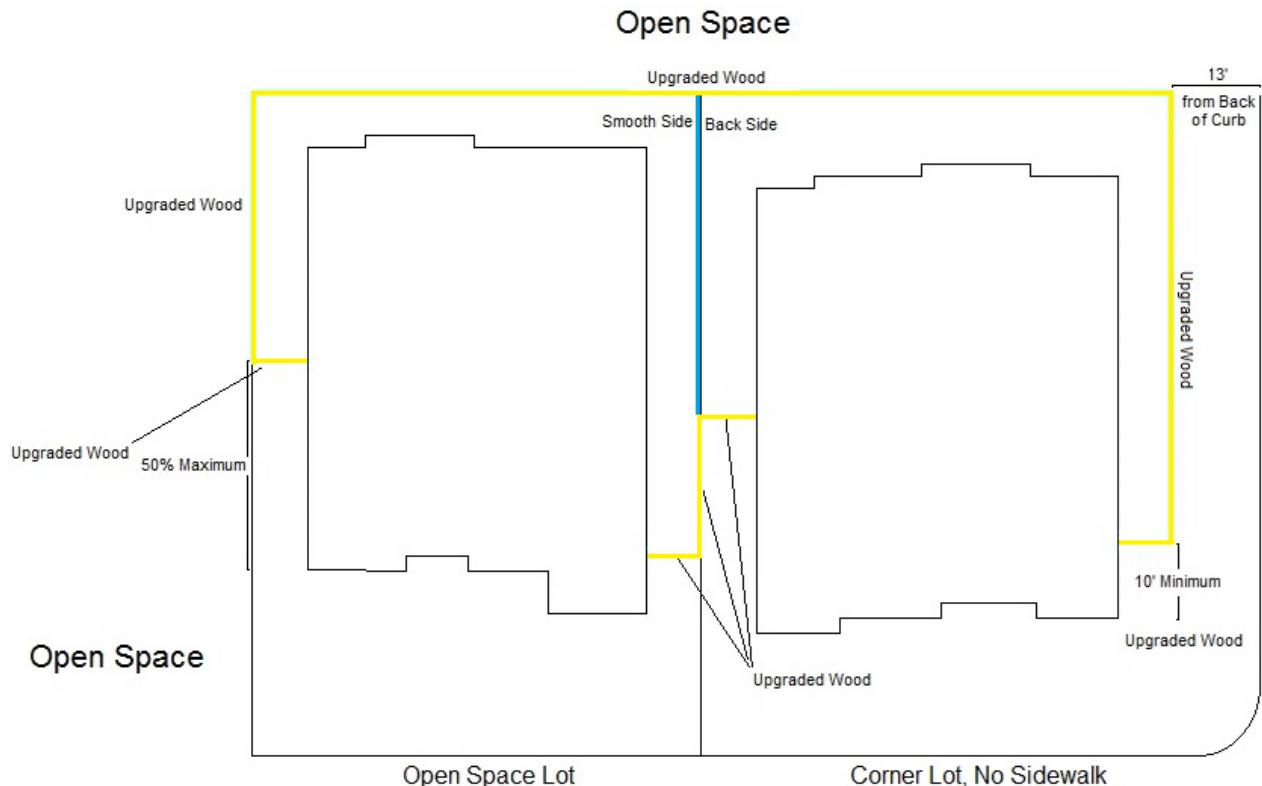
## Parkland



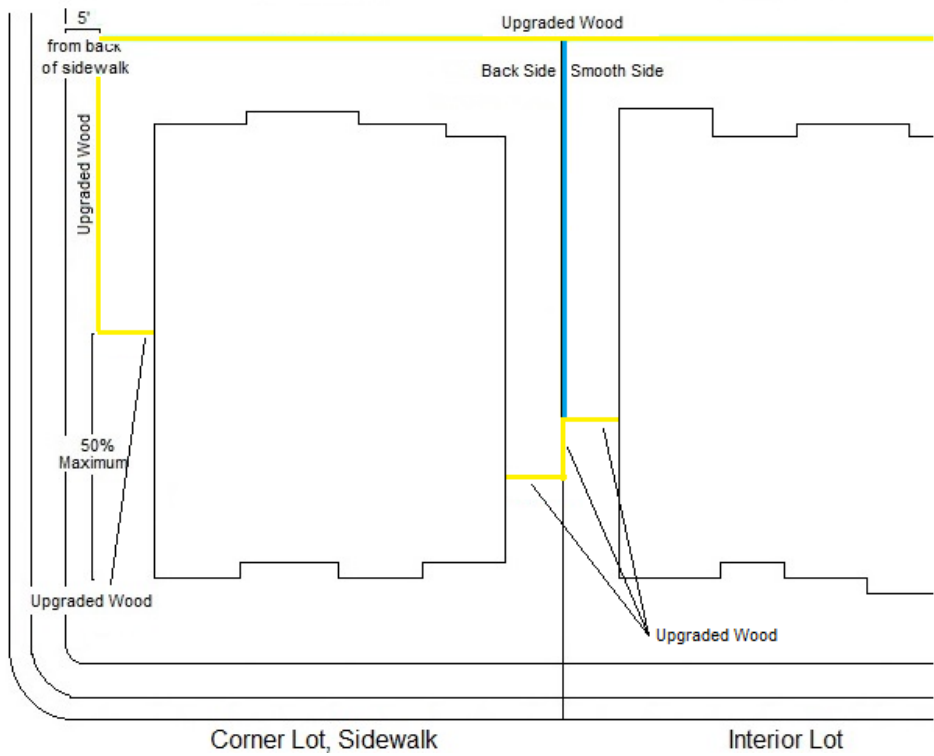
## Parkland



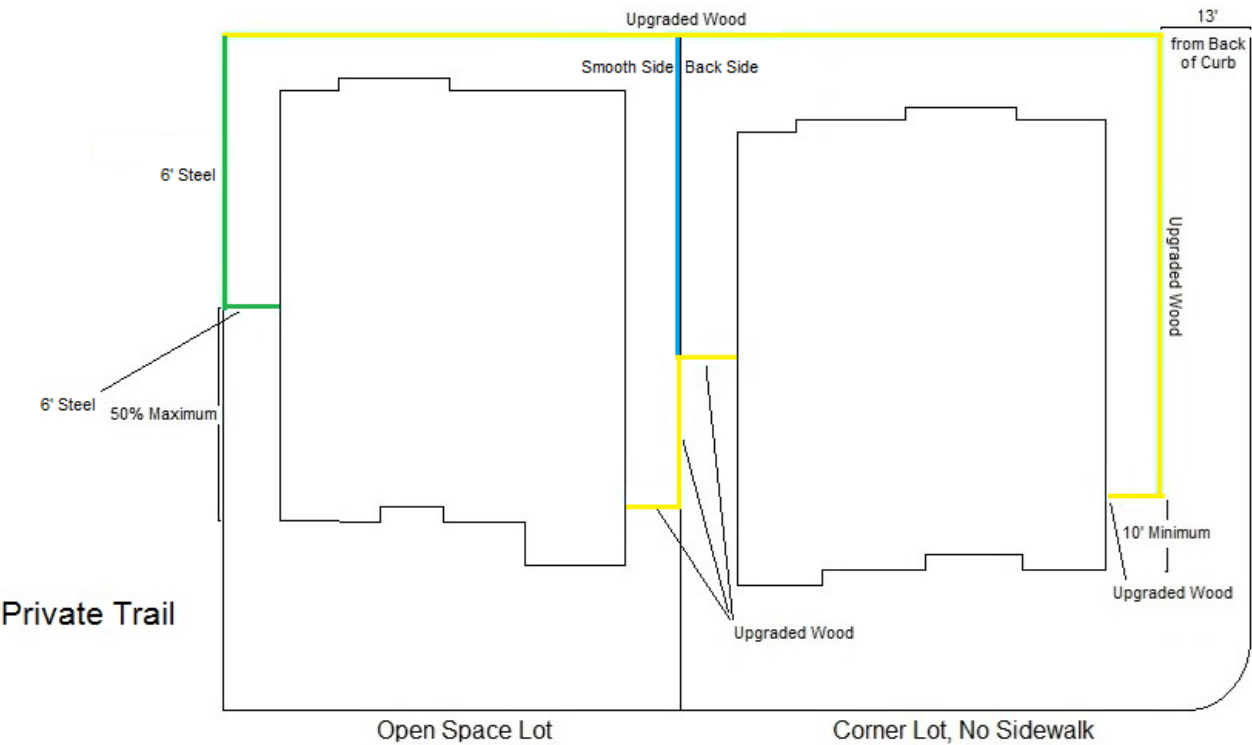
- b. Open Space Lot:** Lots backing or siding to an Open Space
- i. Front Fence Returns: Left & Right side facing R.O.W.
    - a) Upgraded Wood Facing Public View or 6' Steel
    - b) Setback from closest Front Elevation corner of home
      - Minimum 10' to maximum 50% of the Side Elevation
      - Must enclose HVAC system
  - ii. Open Space Side Fence: Fencing siding to an Open Space
    - a) Upgraded Wood Facing Public View or 6' Steel
  - iii. Visible Side Fence: Fencing visible between adjacent Front Fence Returns
    - a) Upgraded Wood Facing Public View or 6' Steel
  - iv. Open Space Rear Fence: Fencing backing to an Open Space
    - a) Upgraded Wood Facing Public View or 6' Steel
  - v. Rear Fence: Fencing along the Rear Property Line
    - a) Upgraded Wood Facing Public View or 6' Steel
  - vi. Visible within Public View: Lots with rear and/or side Steel fencing
    - a) Smooth Side/Back Side
      - 1) If Smooth Side on both sides preferred, see Fencing
  - vii. Non-Visible within Public View: Lots with rear and/or side Upgraded Wood fencing
    - a) Smooth Side/Back Side
      - 1) If Smooth Side on both sides preferred, see Fencing
  - viii. Corner Side Fence: Fencing facing Corner side street
    - a) Upgraded Wood Facing Public View or 6' Steel
    - b) Sidewalk Lots:
      - Setback 5' from back of Sidewalk
    - c) No Sidewalk Lots:
      - Setback 13' from back of curb

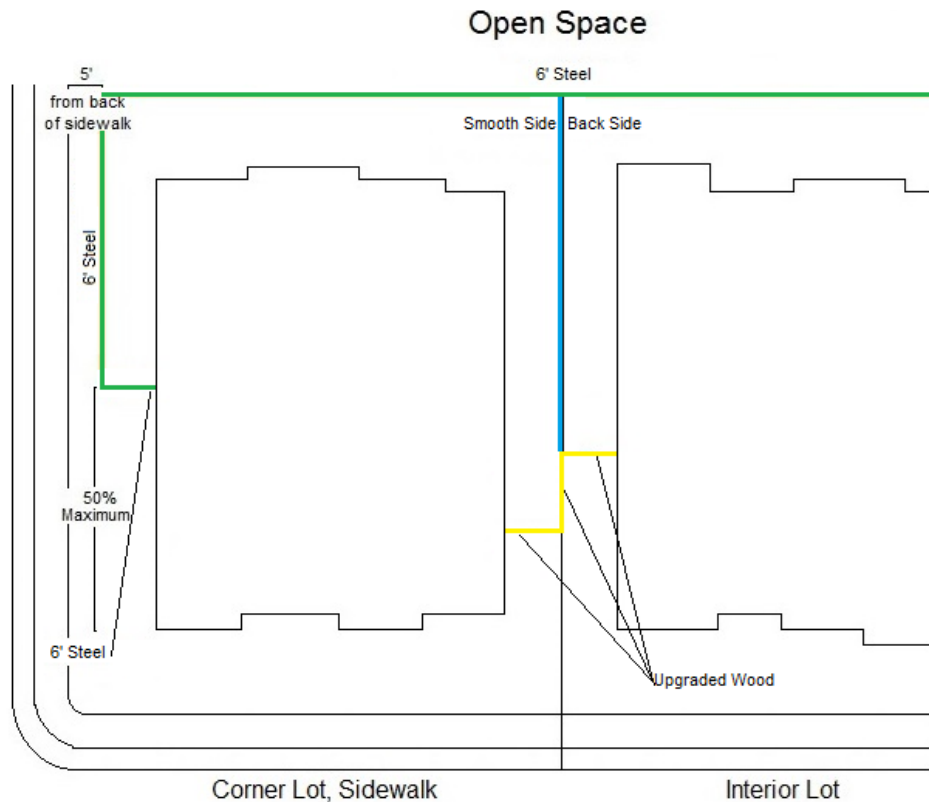


# Open Space



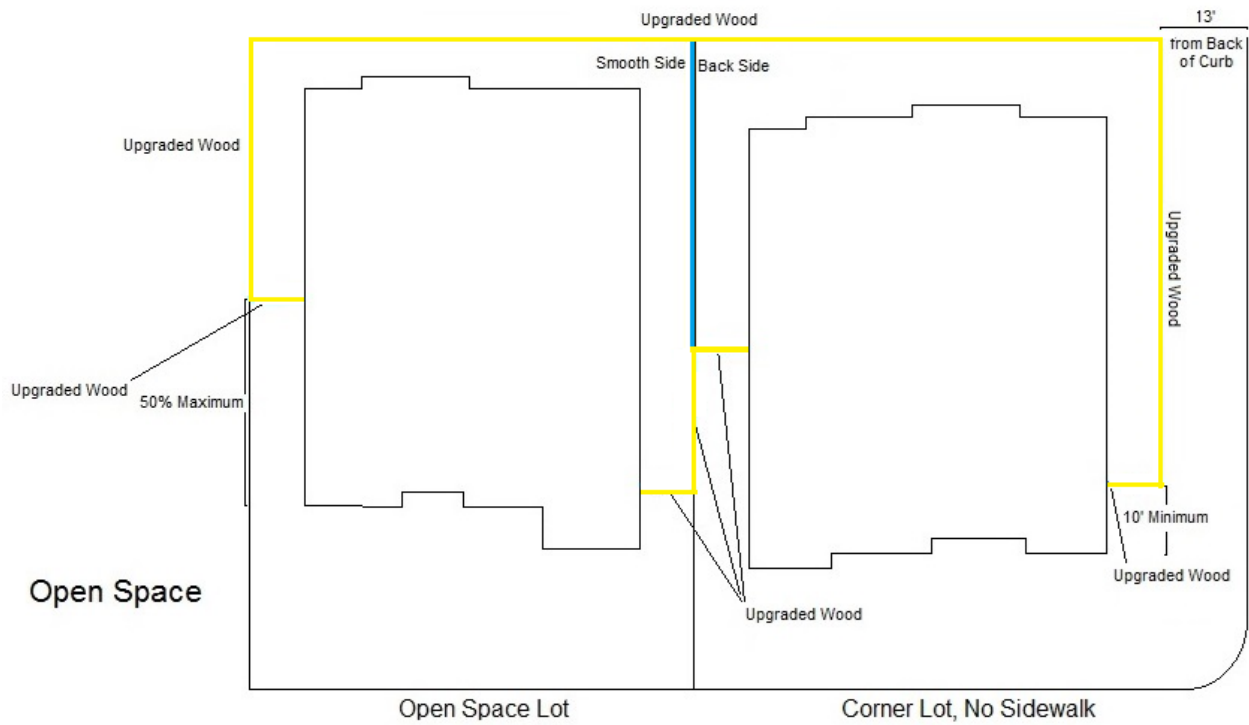
# Open Space





- c. Private Trail: Lots backing or siding to Private Trails
  - i. Front Fence Returns: Left & Right side facing R.O.W.
    - a) Upgraded Wood Facing Public View or 6' Steel
    - b) Setback from closest Front Elevation corner of home
      - Minimum 10' to maximum 50% of the Side Elevation
      - Must enclose HVAC system
  - ii. Private Trail Side Fence: Side fencing facing a Private Trail
    - a) Upgraded Wood Facing Public View or 6' Steel
  - iii. Visible Side Fence: Fencing visible between adjacent Front Fence Returns
    - a) Upgraded Wood Facing Public View
  - iv. Private Trail Rear Fence: Rear fencing facing a Private Trail
    - a) Upgraded Wood Facing Public View or 6' Steel
  - v. Rear Fence: Fencing along the Rear Property Line
    - a) Upgraded Wood Facing Public View or 6' Steel
  - vi. Visible within Public View: Lots with rear and/or side Steel fencing
    - a) Smooth Side/Back Side
      - 1) If Smooth Side on both sides preferred, see Fencing
  - vii. Non-Visible within Public View: Lots with rear and/or side Upgraded Wood fencing
    - a) Smooth Side/Back Side
      - 1) If Smooth Side on both sides preferred, see Fencing
  - viii. Open Space: Fencing backing or siding to an Open Space
    - a) Upgraded Wood Facing Public View or 6' Steel
  - ix. Corner Side Fence: Fencing facing Corner side street
    - a) Upgraded Wood Facing Public View or 6' Steel
    - b) Sidewalk Lots:
      - Setback 5' from back of Sidewalk
    - c) No Sidewalk Lots:
      - Setback 13' from back of curb

## Private Trail



## Private Trail

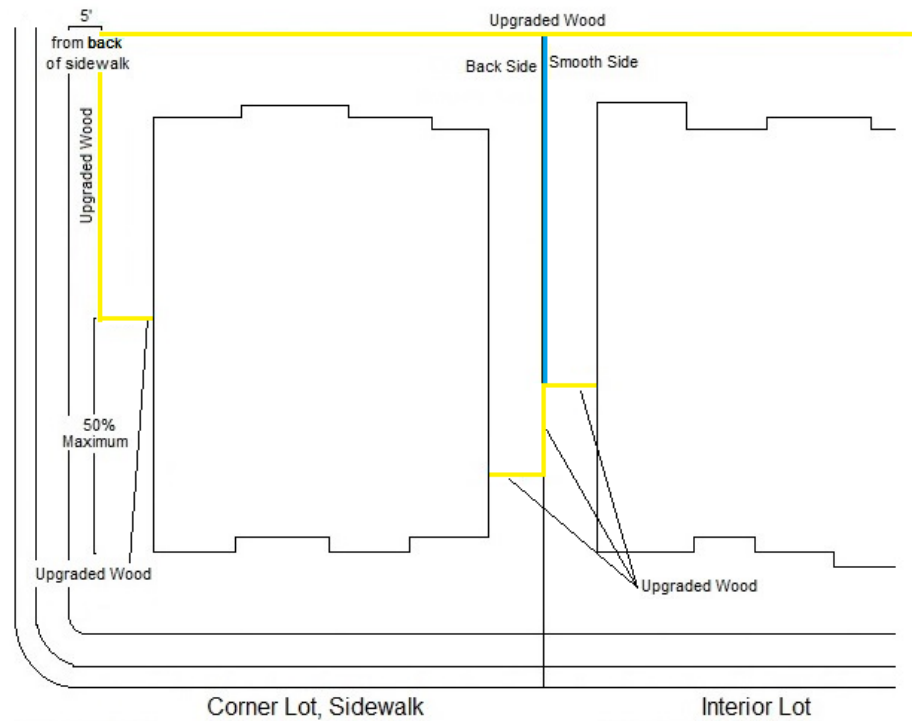


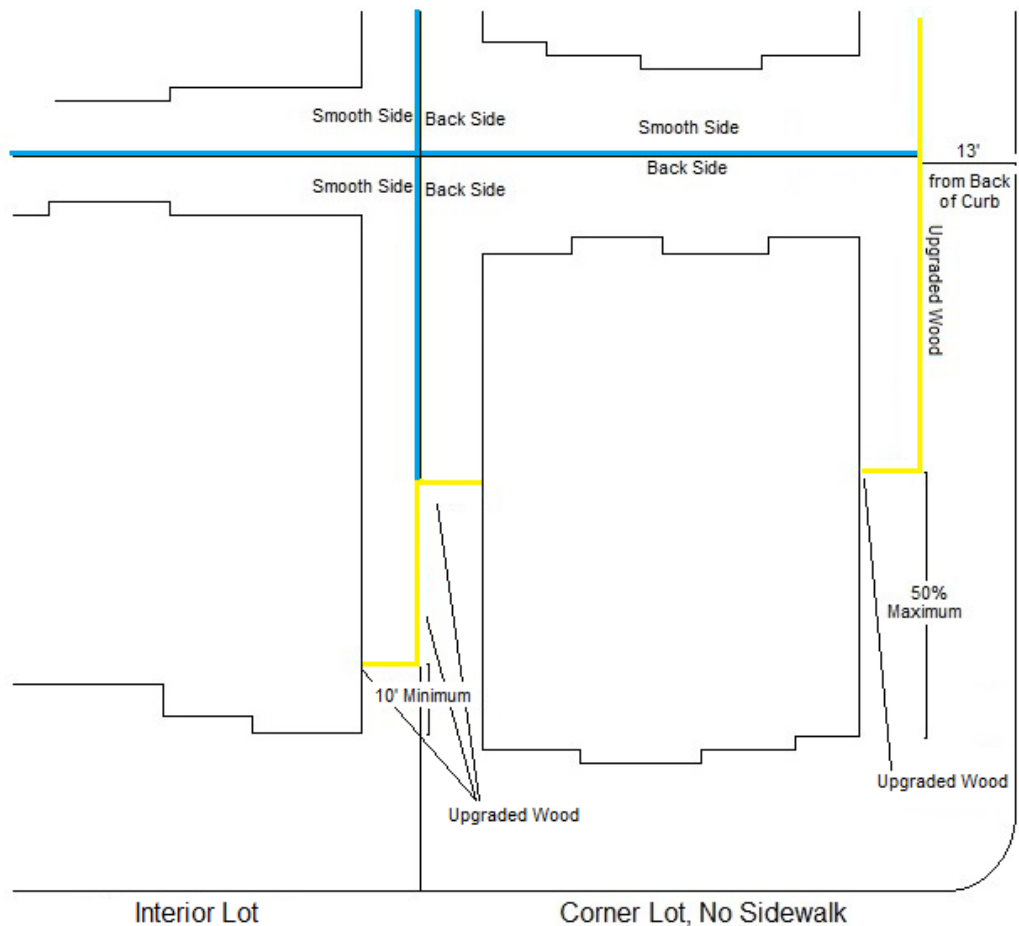


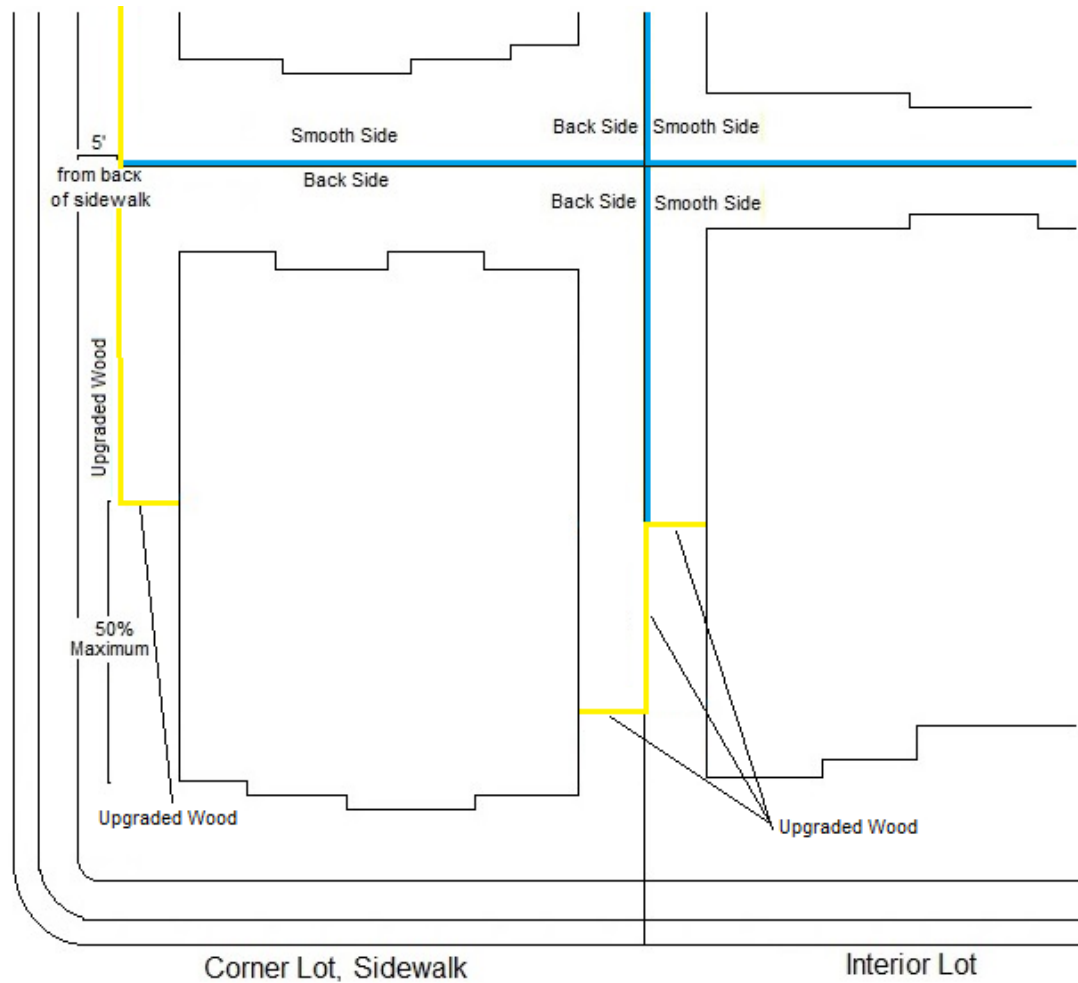
Diagram illustrating the required fence height for different lot types:

- Open Space Lot:** Requires a 6' Steel fence.
- Corner Lot, No Sidewalk:** Requires a 6' Steel fence, with a 10' Minimum height requirement for the corner section.
- Private Trail:** Requires a 6' Steel fence, with a 50% Maximum height requirement.
- Smooth Side:** The side of the fence facing the lot.
- Back Side:** The side of the fence facing the street.
- Upgraded Wood:** The material used for the corner section of the fence.
- 13' from Back of Curb:** The distance from the back of the curb to the fence line.
- 6' Steel:** The required fence height for most sections.
- 10' Minimum:** The required fence height for the corner section.
- 50% Maximum:** The maximum height requirement for the private trail section.

- 
- The diagram illustrates a four-unit residential building layout. The units are arranged in a 2x2 grid. The top row units are labeled 'Back Side' on the left and 'Smooth Side' on the right. The bottom row units are labeled 'Smooth Side' on the left and 'Back Side' on the right. The building is situated on an 'Interior Lot'. A '10' Minimum' setback is indicated on the left side. A '50% Maximum' setback is indicated on the right side. A 'Upgraded Wood' deck is shown at the bottom center. The lot is bounded by a 'Back Side' on the left and a 'Smooth Side' on the right. The building footprint is shown with a central core and four wings extending outwards. The lot is divided into four sections by the building footprint. The lot is bounded by a 'Back Side' on the left and a 'Smooth Side' on the right. The lot is divided into four sections by the building footprint. The lot is bounded by a 'Back Side' on the left and a 'Smooth Side' on the right. The lot is divided into four sections by the building footprint.

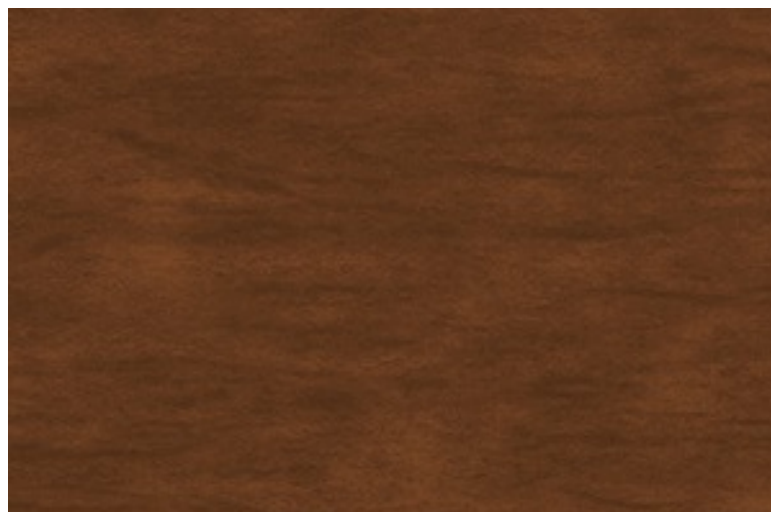
- e. Typical Corner Lot: Lots siding a side street
  - i. Front Fence Returns (Left & Right side facing R.O.W.)
    - a) Upgraded Wood Facing Public View
    - b) Setback from closest Front Elevation corner of home
      - Minimum 10' to maximum 50% of the Side Elevation
      - Must enclose HVAC system
  - ii. Corner Side Fence: Fencing facing Corner side street
    - a) Upgraded Wood Facing Public View or 6' Steel
    - b) Sidewalk Lots:
      - Setback 5' from back of Sidewalk
    - c) No Sidewalk Lots:
      - Setback 13' from back of curb
  - iii. Visible Side Fence: Fencing visible between adjacent Front Fence Returns
    - a) Upgraded Wood Facing Public View
  - iv. Rear Fence: Fencing along the Rear Property Line
    - a) Smooth Side/Back Side
      - 1) If Smooth Side on both sides preferred, see Fencing
  - v. Non-visible within Public View Lots with rear and/or side Upgraded Wood fencing
    - a) Smooth Side/Back Side
      - 1) If Smooth Side on both sides preferred, see Fencing





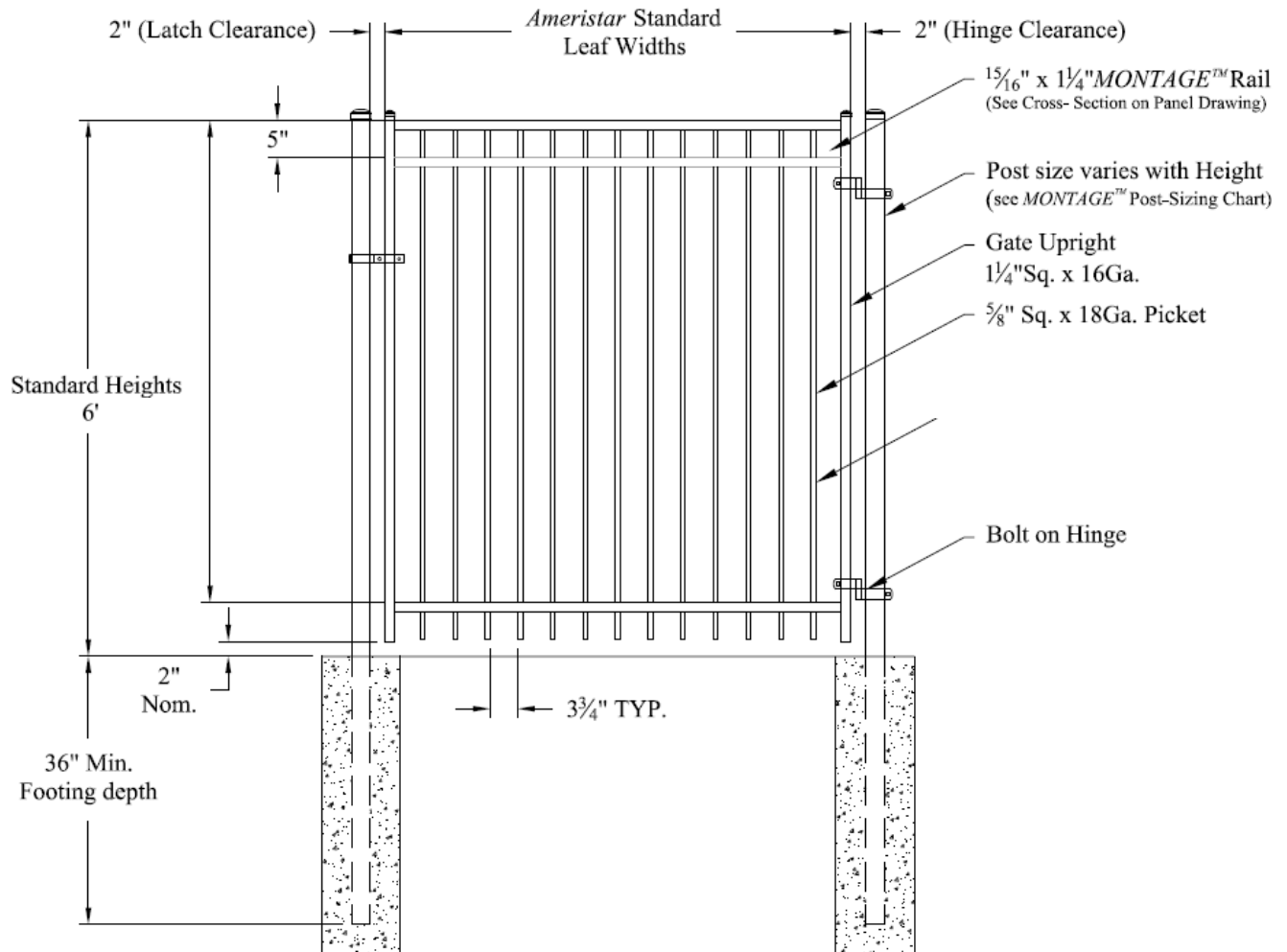
**M. Fence Stain revised 5.11.2020**

1. Required on all visible fencing
2. Builders must apply stain per Manufacturer Specifications.
  - a. All completed fences must match Developer Sample.
3. Stain color: *revised 5.11.2020*
  - a. Sherwin Williams Semi-Transparent 3518 Hawthorne
    - i. Water-based required
    - ii. Oil-based prohibited



## N. Pedestrian Gates

1. Upgraded Wood Facing Public View Fencing:
  - a. Upgraded Wood Facing Public View
  - b. 6' Gate
2. Steel Fence with steel gate:
  - a. Ameristar Majestic Montage Plus
  - b. 6' Gate



3. Allow Placement
  - a. Either side of or Both sides of the Front Fence Returns
4. Access:
  - a. Private Trail
5. Prohibit Access:
  - a. Amenity Center
  - b. Non-Trail areas
  - c. Corner Side of Lot, facing the Corner side street
  - d. Open Space Side of a Lot, facing the Open Space

**O. BTU and Fiber Optic Network Cabling**

1. BTU conduit and Fiber Optic Network cabling to be installed at the same time.
  - a. Installation of BTU conduit by Developer BTU Provider, at Developer's expense
  - b. Installation of Fiber Optic Network cabling conduit to be installed by Developer's exclusive Fiber Optic Utility Provider, at builder's expense.

**P. Grading/Drainage**

1. Positive drainage away from the housing structure shall be provided for rainfall, gutter downspouts, irrigation, air conditioner condensate and other types of water runoff.
2. Caution should be used in establishing the foundation elevation so that driveways, slabs or insufficient fall does not impair adequate drainage of the Lot.
3. Builders shall not grade Lots that significantly alter the existing overland drainage flow patterns. See As-Built Topographic Survey.

**Q. Slab Height**

1. All Lots must follow the Development Lot Grading for Lot Specific Slab Height. See Lot Grading Exhibit. See "Lot Grading and Slab Height" process in Architectural Review Process.

**R. Form Survey**

1. Proposed Slab Height Layout: Required for all Site Plan Submittals. See "Form Survey" process in Architectural Review Process.

## II. Architectural Guidelines

### A. Product Types

1. Classic: 70'
2. Heritage: 90' to 110'
3. Legacy: Acreage

### B. Square Footage: Minimum and Maximum per Product Type

Product Type	Minimum Square Footage	Maximum Square Footage
Classic	1,850	2,950
Heritage	2,950	Unlimited
Legacy	TBD	Unlimited

### C. Base Plan Widths

1. Dwelling foundation width
  - a. Total width does not include Bonus Options

Product Type	Lot Size	Base Plan Minimum
Classic	70'	50'
Heritage	90' +	65'
Legacy	110'	TBD

### D. Architectural Styles

1. Classic and Heritage:
  - a. The following general classifications of Architectural Design Styles are among those compatible with the architectural ideals established for Greens Prairie Reserve. The design elements below are not intended to hinder individual style. They are to provide a uniform standard of the highest quality and well-crafted design. Design styles must be identified on plan submittals.
2. Legacy: Architectural Design Styles will be reviewed by the ARC, as submitted per Lot.
3. Side and Rear Elevations facing public R.O.W. or Parkland/Open Space/Trails should have Architecture Elements that carry from the front elevation such as window styles and materials consistent with the front elevation, gables, dormers, wrap-around porches, and/or other Architecture Accents.
4. Additional classifications of Architectural Styles will be considered by the ARC on a case-by-case basis. Designs lacking character, style, articulation are strongly discouraged and may not be approved by the ARC.
5. Design Elements: Each Elevation must meet a minimum of 3 Design Elements to be considered an allowed Architectural Styles



**a. Bungalow:**

- i. May be 1 and 1.5, occasionally 2 stories
- ii. Low-pitched roof, gabled or hipped
- iii. Deep eaves with exposed rafters
- iv. Decorative knee braces
- v. Dormers, shed, hipped or gabled
- vi. Functional covered front porch required defined as a minimum of 60 square feet with at least 6 feet of depth. Front porch to include massive columns.
- vii. Windows are typically double hung with multiple lights in the upper window and a single pane in the lower, often seen in continuous banks. Simple, wide casings.
- viii. Exterior Materials:
  - a) Primarily Hardie Siding with stucco, brick, stone and Cedar Shake Shingles as accent
  - 1) No more than 25% stucco, brick or stone shall be allowed





**b. Contemporary**

- i.** Irregular, asymmetrical façade
- ii.** Strong, geometric shapes
- iii.** Extensive use of natural light
- iv.** Open floor plan in L, T, H or U shape to embrace outdoor space
- v.** Flexible layout to adapt to changes in family needs
- vi.** Large windows, often placed non-symmetrically
- vii.** Clerestory windows





- c. Cottage:
- i. May be 1 or 1.5, occasionally 2 stories
  - ii. Asymmetrical plan
  - iii. Cross-gabled, medium to steeply pitched roof, sometimes with clipped gables
  - iv. Half-timbering
  - v. Arrangements of tall, narrow windows in bands; small window panes either double-hung or casement
  - vi. Over scaled chimneys with decorative brickwork and chimney pots
  - vii. Cozy, irregularly-shaped rooms
  - viii. Exterior Materials
    - a) Stucco, brick, stone, Hardie Siding and Cedar Shake Shingles as accent
    - b) No more than 50% stucco, brick or stone shall be allowed





**d. Craftsman:**

- i. May be 1, 1.5 or 2 story plans
- ii. Roof pitches may vary but on one-story dwellings the primary roof pitch should not exceed 6:12. Accent roofs do not have to meet this requirement. There is no roof pitch requirement for 1, 1.5 and 2 story dwellings.
- iii. Primary windows' proportion ratio of height to width is between 1.7 - 2.2 to 1. Accent windows do not have to meet this proportion requirement.
- iv. Doors should have some rectilinear glass or glass pattern in some part of the upper third of the front door.
- v. Front columns should have a wider base on the lower part of the column
- vi. Functional covered front porch required defined as a minimum of 60 square feet with at least 6 feet of depth. Front porch to include a decorative railing.
- vii. Gables should include architectural brackets, windows, or other architectural elements near the top and bottom portions of the gable.
- viii. Exterior Materials:
  - a) Hardie Siding with brick, stone and stucco with Cedar Shake Shingles as accent
  - b) No more than 25% stucco, brick or stone shall be allowed.





**e. Farmhouse:**

- i. Typically 1, 1.5 or 2 story plans
- ii. Roof pitches are 8:12 or steeper; however accent roofs may have a roof pitch less than 8:12
- iii. Primary window style should primarily have tall, rectangular proportion. Primary windows' proportion ratio of height to width is between 2.0-2.5 to 1. Accent windows do not have to meet this proportion requirement.
- iv. Window division patterns of 2 over 2, 2 over 1, 6 over 6 or no divided light are allowed. Accent windows do not have to meet this pattern requirement.
- v. Functional open front porch required defined as a minimum of 60 square feet with at least 6 feet of depth.
- vi. Gables should be simple forms on Farmhouses
- vii. Exterior Materials:
  - a) Hardie Siding with Board and Batten as accent
  - b) Prohibited: Brick and stucco
  - c) No more than 25% stone



- f. French Country
  - i. Steep, hipped roof lines
  - ii. Balanced, symmetrical proportions
  - iii. Tall second-story windows (often with arched tops)
  - iv. Porches with substantial balustrades
  - v. Exterior Materials:
    - a) Brick, stone or stucco
    - b) Natural stone that is typically gray or white





**g. Mediterranean Style**

- i.** Open floor plans with high ceilings
- ii.** Large outdoor spaces
- iii.** May feature arched windows and arched doorways
- iv.** Arched lintels on lower level windows
- v.** Wrought-iron balconies and window grilles
- vi.** Lower level windows are taller than on upper level
- vii.** Low pitched tile roofs (typically reddish, and barrel-shaped)
- viii.** Wide eaves with or without brackets and closed soffits
- ix.** Often have courtyards, and verandas on the upper level
- x.** Shorter and often recessed second story
- xi.** Doors and porches are commonly centered on the main building mass
- xii.** Exterior Materials:
  - a)** Stone, Brick or Stucco exterior walls (light hues) with thick and solid appearance





**h. Mid Century Modern:**

- i.** Very low-pitched roofs – from flat (1/4" per foot to 3:12 with large over-hanging eaves generally no less than 36"
- ii.** Exterior walls clad with combinations of horizontal lap siding, vertical tongue and groove siding, spandrel panels, masonry or stucco
- iii.** Limited exterior trim
- iv.** Flat planes
- v.** Angular details and asymmetrical profiles
- vi.** Minimal orientation
- vii.** Expansive walls of glass blurring the line between interior and exterior spaces at courtyards and patio
- viii.** Wide open floor plans and changes in elevation



- i. Ranch:
  - i. Single story
  - ii. Asymmetrical, spreading, horizontal orientation
  - iii. Hipped or gabled roof often with wide eaves
  - iv. Logical, open floor plan in a rectangular, L or U-shaped configuration
  - v. Minimal ornamentation
  - vi. Large plate glass picture windows
  - vii. Attached garage
  - viii. Exterior Materials:
    - a) Hardie Siding, stucco and brick





- j. Traditional**
  - i.** 1 to 2 story plans
  - ii.** A variety of styles that do not fit clearly into our other design styles but that contain characteristics of older home styles
  - iii.** Columns
  - iv.** Dormers
  - v.** Covered entries
  - vi.** At least one front facing gable
  - vii.** Symmetrically spaced windows
  - viii.** Modest ornamentation
  - ix.** Exterior Materials
    - a)** Hardie Siding, stucco, brick and stone
    - b)** Prohibited: Anodized aluminum window frames



## E. Plan Spacing & Repetition

Plan	Elevation	Street Side	Full Lot Spacing	Code
Same Plan	Same Elevation	Same side of Same Street	4	A
		Opposite side of Same Street	4	B
	Different Elevation	Same side of Same Street	3	C
		Opposite side of Same Street	3	D
	Same Elevation	Same side of Adjacent Street	4	E
		Opposite side of Adjacent Street	4	F
	Different Elevation	Same side of Adjacent Street	3	G
		Opposite side of Adjacent Street	3	H
Different Plan	Considered Same as another Plan Elevation	Same side of Same Street	4	I
		Opposite side of Same Street	4	J
	Considered Same as another Plan Elevation	Same side of Adjacent Street	3	K
		Opposite side of Adjacent Street	3	L

A		B	E	D	A		E												
	C			F	C		B	D											
		J		G			G												
I						I		J						L				H	

**F. Masonry Requirements:** Determined by Architectural Style and Location

1. Dwellings may be required to be 100% masonry. See Section Specific Masonry Plan
  - a. Traditional Home Plans:

Traditional Home Plans	1 <sup>st</sup> Floor	2 <sup>nd</sup> Floor
Classic	100% with 10' Masonry Wrap to Side Elevations	100% Front Elevation with 5' Masonry Wrap to Side Elevations
Heritage	100% with 10' Masonry Wrap to Side Elevations	100% Front Elevation with 5' Masonry Wrap to Side Elevations
Legacy	100% with 10' Masonry Wrap to Side Elevations	100% Front Elevation with 5' Masonry Wrap to Side Elevations
Visible Elevations	100% with 10' Masonry Wrap to Side Elevations	100% Masonry, including Chimney

2. Additional articulation: Corner Side and Open Space visible elevations
3. Additional articulation for Garage elevations within Public View:
  - a. Swing-In
  - b. Side Loaded
  - c. Detached Garage

**G. Exterior Materials:** Determined per Architectural Style and Location

1. Masonry
  - a. Brick/Stone/Stucco
  - b. Hardie Siding not considered masonry
2. Accents: Wood, Shutters, etc
  - a. Per Architectural Style
  - b. Exposed wood must be treated and/or stained
3. Siding:
  - a. Allowed per Architectural Style
    - i. Hardie Plank
    - ii. Board and Batten
    - iii. Shake Shingle
    - iv. Cementitious equivalent materials
  - b. Prohibited:
    - i. Vinyl
4. Metal:
  - a. Per Architectural Style

**H. Shirt Fronting:** Material changes shall not occur at a front outside corner.

1. Material must wrap from Front Elevation to Side Elevations:
  - a. Minimum 10' on the 1<sup>st</sup> Floor, or to natural break as determined by ARC
  - b. Minimum 5' on the 2<sup>nd</sup> Floor, or to natural break as determined by ARC

## **I. Color and Repetition**

### **1. Colors:**

- a.** Brick/Stone/Stucco/Trim & Accent paint per Architectural Style and with ARC approval
  - i.** Limited to 3
- b.** Allowed Home Colors:
  - i.** Earth Tones, Neutrals
  - ii.** White is permitted for Farmhouse Architecture Style only
- c.** Prohibited Home Colors:
  - i.** Pink, Primary Red, Primary Blue, Primary Green, Dark Blue
- d.** Allowed Accent Colors:
  - i.** Determined by Architectural Style

### **2. Repetition:**

- a.** Same color family may not be adjacent or directly across
- b.** Same color scheme may not be within 4 dwellings

## **J. Balconies: Second Floor Rear Balcony**

### **1. Allowed:**

- a.** Backing or siding Perimeter, Reserve, Parkland, Open Space, Private Trail Lots with a minimum of 35' between Lots

### **2. Prohibited:**

- a.** Backing or siding Perimeter, Reserve, Parkland, Open Space, Private Trail Lots with less than 35' between Lots

## **K. Chimneys**

### **1. Can be used to establish an ornamental or thematic direction on Architectural Style**

### **2. Materials:**

- a.** Determined by Architectural Style and Location
  - i.** Traditional Lots requiring 100% masonry Elevations: 100% masonry

### **3. Cap: Required**

### **4. Fireplaces using metal spark arrestor or other metal venting apparatus at top of Chimney must have painted metal cowl surround installed atop the Chimney.**

### **5. All metal or other materials placed on top or around Chimney must be painted the same color as Chimney Material.**

### **6. Direct Vent: Allowed if not visible within public view.**

## **L. Roofs: Determined by Architectural Style**

### **1. Materials:**

- a.** Architecture Shingle: 30 year warranty
- b.** Tile: 25 year clay tile
- c.** Slate
- d.** Standing seam metal
  - i.** Prohibited: Reflective, silver and corrugated tin
  - ii.** All other exposed roof material must be located to the rear or side slopes, away from public view
- e.** Colors:
  - i.** Colors approved per Architectural Style
  - ii.** Colors Prohibited: Red, Green, Blue or as determined by the ARC

2. Pitches:
  - a. House Minimum and Maximum: Determined by Architecture Style
    - i. Traditional Architecture Style must be no less than 6:12
    - ii. Mediterranean Architecture Style must be no less than 4:12
3. Colors:
  - a. Allowed: Earth Tones
    - i. Blue, Green and Red subject to ARC Review and Approval
4. Roof Top Accessories
 

Antennas, towers, satellite dishes or similar devices for receiving and/or sending signals are permitted. Placement must be in the least obtrusive location, no higher than the highest point of the rear line of the residence and must not be visible from the street. Must receive ARC approval for placement.

  - a. Skylights
    - i. Must be integrated with the roof design, parallel to the roof pitch
    - ii. Framing must match the roof color
    - iii. Must receive ARC approval for placement
  - b. Solar Collector: Refer to House Bill 362
    - i. Solar collectors must not be placed within public view
    - ii. Must receive ARC approval for placement
    - iii. Solar Panels are prohibited if one of the following conditions exist:
      - a) If the solar energy devices are illegal or violate public health and safety
      - b) If they are located on common property within the subdivision
      - c) If they extend higher than the roofline, do not conform to the slope of the roof, or are not parallel to the roofline
      - d) If they are ground-mounted and extend above the homeowner's fence
      - e) If they are installed in a way that voids the warranties
      - f) If they have an element that is not in a silver, bronze, or black tone
      - g) If they are installed without prior approval by the ARC
  - c. Plumbing or heating vents, stacks, gutters, flashing, or other projections must be placed out of street or public view if at all possible and must be painted to match roof material.

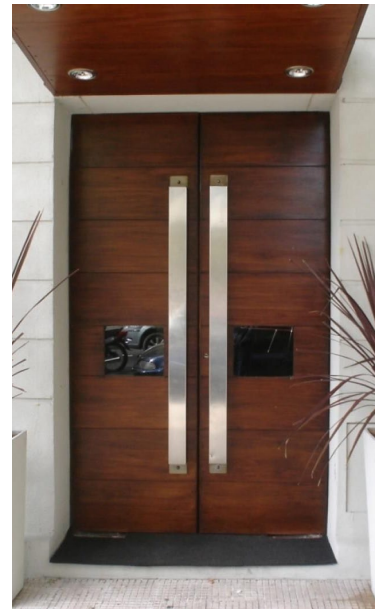
#### **M. Front Entry Doorways**

1. Design: Determined by Architectural Style
2. The photos provide examples of Front Entry Doorways for the purpose of understanding the particular style. The following photos reflect the architectural context to be expressed, not every Architectural Style is included nor does one single image capture the exact look.
  - a. Bungalow:





**b. Contemporary:**



**c. Craftsman:**



**d. Farmhouse:**





e. French Country:



f. Mediterranean:



**g. Mid Century Modern:**



**h. Traditional: Upgraded Doors encouraged**



**N. Windows**

1. Design: Determined by Architectural Style. Metal window finishes must complement the Architectural Style and color of the home.
2. The photos provide examples of Windows for the purpose of understanding the particular style. The following photos reflect the architectural context to be expressed, not every Architectural Style is included nor does one single image capture the exact look.

**a. Contemporary:**





**b. Craftsman:**



**c. Farmhouse:**



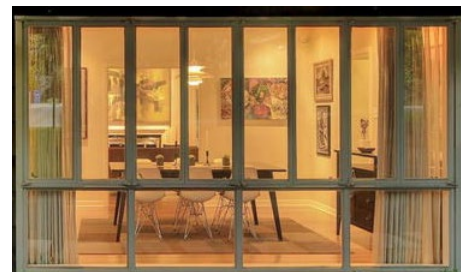
**d. French Country:**



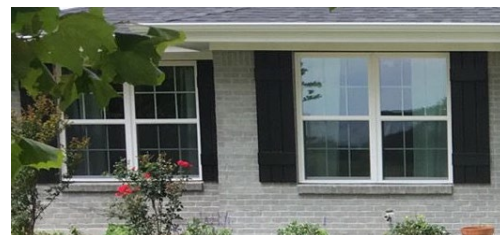
**e. Mediterranean:**



**f. Mid Century Modern:**



**g. Ranch:**



- 3. Materials:** Wood, Metal, Vinyl-Clad, double paned windows or higher quality must be used
  - a.** Glass block or frosted is allowed for privacy of bathroom windows
  - b.** Tinting: Encouraged for energy conservation purposes, must receive ARC approval
  - c.** Glass block, frosted or tinting is allowed for bathroom windows facing streets or public view.
  - d.** Prohibited: Clear anodized aluminum, reflective glass, mirrored glazing or tinting, burglar or security bars on windows or doors, awnings

**O. Foundation**

- 1.** No more than 8" of vertical surface of the concrete slab shall be exposed to view from the street.
- 2.** Exposed foundation must be screened. See Landscape Guidelines.
- 3.** No concrete, concrete block or cinderblock shall be used as an exposed building surface.
- 4.** Any concrete, concrete block or cinder block utilized in the construction of a Residential Dwelling or other improvement or for retaining walls and foundation shall be finished in the same materials utilized for the remainder of the Residential Dwelling or other improvement.



## P. Garage Doors

1. Design: Determined by Architectural Style
2. The photos provide examples of Garage Doors for the purpose of understanding the particular style. The following photos reflect the architectural context to be expressed, not every Architectural Style is included nor does one single image capture the exact look.
  - a. Traditional: Decorative hardware/accent/treatment required



### b. Craftsman:



### c. Contemporary:



### d. Farmhouse:



**e. French Country:**



**f. Mediterranean:**



**g. Mid Century Modern:**



3. Materials: Wood or Metal
4. Colors: Determined by Architectural Style
  - a. Traditional: Same as House or Darker
5. Garage doors must be separated by a 12" minimum width column
  - a. 2 Single Garage Doors
  - b. 1 Single Garage Door and 1 Double Garage Door

**Q. Plate Height:** Determined by Architecture Style

1. Traditional: 9' Minimum Exterior Plate

**R. Lighting:** Determined by Architecture Style

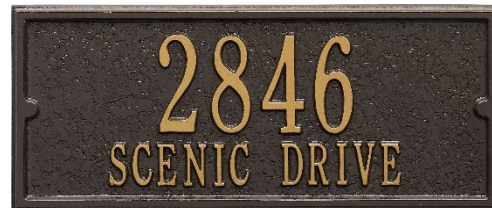
1. All exterior lighting must be approved by the ARC for type, location and illumination.
2. Cast aluminum or brass fixtures are permitted, must have ARC approval.
3. No lighting shall be directed toward another Lot or illuminate beyond the boundaries of the Lot on which the lighting fixture is situated including neighboring yards, streets or public spaces.
4. Pathway and landscape lighting is encouraged, such lighting must be inconspicuous.
5. Prohibited: Colored lighting, high intensity lighting such as Mercury Vapor, "spill over" lighting (onto neighboring yards, other properties, streets or public spaces), exposed transformers and wiring
6. Security lighting shall be no higher than 25' above surrounding ground.

**S. Address Markers:** Determined by Architectural Style

1. Must receive ARC approval
2. The photos provide examples of Address Markers for the purpose of understanding the particular style. The following photos reflect the architectural context to be expressed, not every Architectural Style is included nor does one single image capture the exact look.
3. Allowed:
  - a. Standard Precast:



- b. Bronze Plate:



- c. Bungalow:





d. Contemporary:



e. Craftsman:



f. Mid Century Modern:



g. Builder Specific Design

**T. Builder Signage**

1. Model Identification sign:
  - a. Builders are permitted 1 lighted sign per model home.
  - b. Sign size, shape, material and color must have prior ARC approval.
2. Lot Identification sign:
  - a. For advertising and sale of a Lot
  - b. One sign per Lot
  - c. Must be no more than 6 square feet in size
3. Bandit signs and banners:
  - a. Prohibited.

**U. Builder Flag Poles**

1. 1 - 20' Flag Poles is permitted per Builder
2. 2 Flags allowed
3. Placement and color must receive ARC approval.
4. Must be removed prior to the sale of the Model Home

**V. Mail Box Clusters**

1. U.S. Post Office standard mail clusters will be installed at appropriate locations.

### III. Landscape Guidelines

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#### A. General

1. Landscape Guidelines provide the minimum requirements for all Yard types. The Landscape Design Guidelines provide the minimal requirements for each Lot.
  - a. Builders are encouraged to exceed the minimal requirements with Native Texas trees, shrubs, ground covers and grasses from the Preferred Plant List.
  - b. The landscape of each lot should provide an inviting curb appeal.
  - c. Plant proportions shall be recognized and recommended by the American Standard for Nursery Stock.
  - d. Installation of all plants must conform to the standards of the American Association of Nurserymen.
  - e. The ARC reserves the right to require the builder to replace plants that do not meet these requirements.
2. Minimum planting depth of 5' required for all Yard Types.
3. Plantings should be in tiers by height with the larger varieties placed in the rear of the bed.

#### B. Lot Preservation

1. Lots with existing trees must have a Preconstruction Review to note trees greater than 3" at 12" above grade to be saved.
2. Removal of any trees on a Lot without ARC approval will result in a fine for each tree removed. See "Preconstruction Review" in Architectural Review Process.
3. For further clarification, see Architectural Review Process for Preconstruction Review requirements.

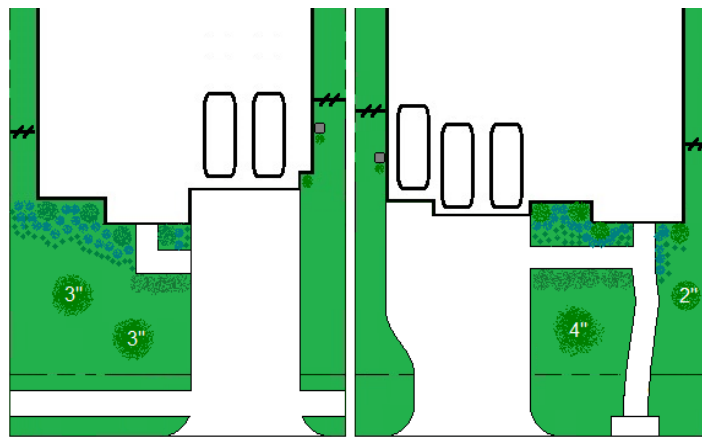
#### C. Yard Types

1. Classic & Heritage:
  - a. Front Yard:
    - i. Planting beds must be curvilinear with the plants in massing
    - ii. See Front Yard Planting Bed Requirements
  - b. Corner: Lots whose side yards face a street
    - i. Plantings shall be in clusters along fence facing the street.
    - ii. See Corner Side Yard Requirements
  - c. Visible Rear Yard: Rear yards backing or siding a boulevard or collector road, or are visible within public view.
    - i. Planting beds shall be curvilinear with the plants in massings
    - ii. See Visible Rear Yard Requirements
  - d. Landscape Buffer: For visible fencing exceeding 30' in length and/or exposed foundation of Corner Lots and Open Space
2. Legacy Lots
  - a. Landscape Plan required per Lot
    - i. All Landscape Plans must exceed Minimal Landscape Plan.
    - ii. Must be submitted Lot Specific for ARC approval

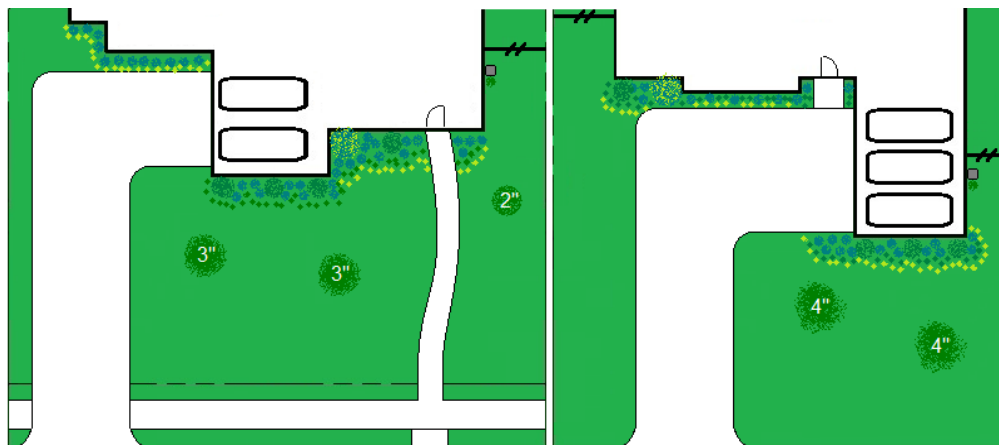
**D. Planting Requirements:** Minimum requirements

1. Front Yard Planting Bed: Area between the Front Elevation and Front R.O.W.
  - a. Planting beds are encouraged along the walkway if walkway leads to the curb.

Front Yard Planting Area						
Lot Size	Required Yard Tree*	30 Gallon Ornamental Tree*	15 Gallon Shrubs	5 Gallon Shrubs	3 Gallon Shrubs	1 Gallon Plants**
Classic 70'	6" total caliper (maximum 2 trees) I.e. one 4" and one 2", or two 3" caliper Hardwood Trees.	NA	4	20	25	NA
Heritage 90' – 110'	8" total caliper, (maximum of 3 trees) I.e. two 3" and one 2", or two 4" caliper Hardwood Trees	1	4	25	30	35
Legacy 110' +	Landscape Plan required for each Lot. Must exceed Heritage requirements					
All	Additional Foundation Screening required for visible foundation.					
*Tree caliper is measured 12" from base of tree						
**Perennials. Annuals do not apply to required Plant count.						
Additional trees may be added from the Additional Tree List.						



Classic Lots

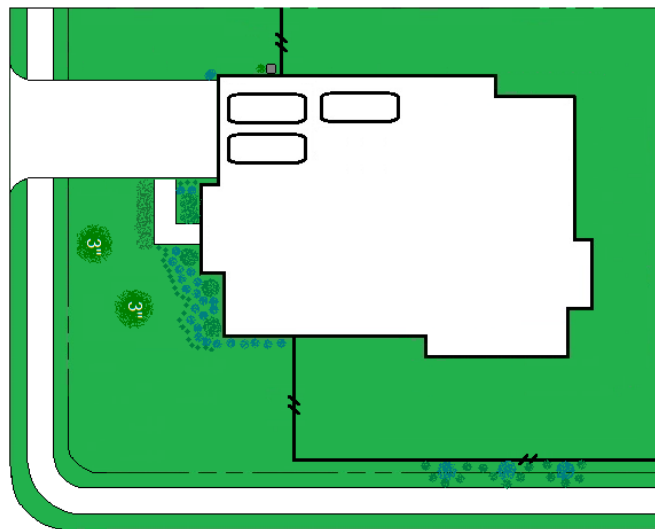


Heritage Lots

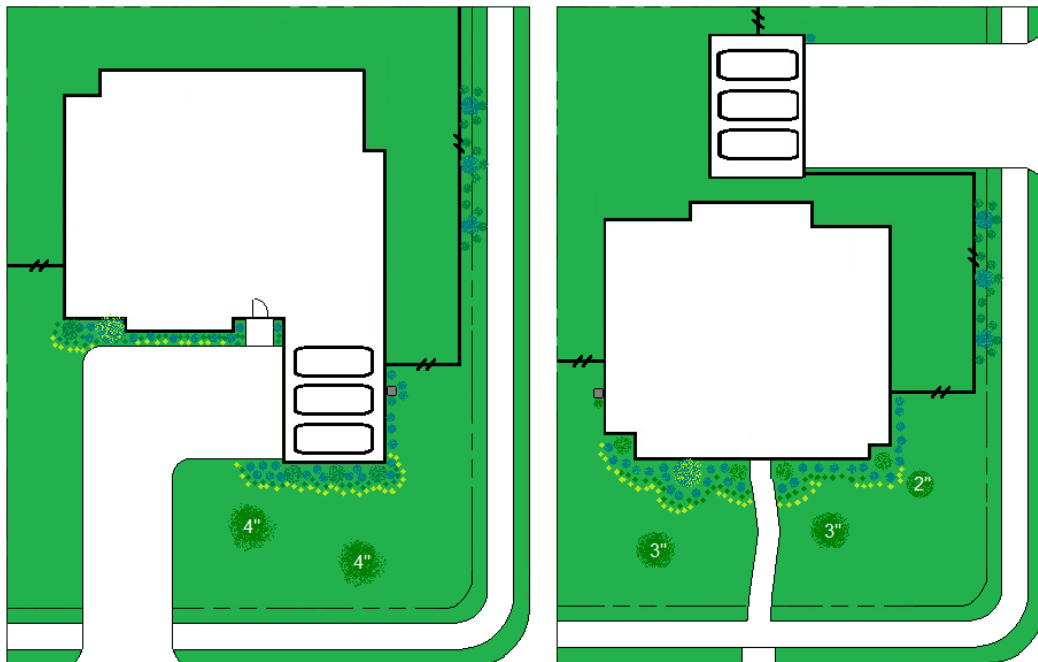


2. Corner Side Yard: Green Space between the Corner Side Elevation and the Corner Side R.O.W.
  - a. The table reflects minimum requirements. Additional shrubs and design creativity are encouraged.

Corner Side Planting Area		
Lot Size	15 Gallon Ornamental Tree	5 Gallon Shrubs
Classic 70'	3	15
Heritage 90' – 110'	3	15
Legacy 110' +	Landscape Plan required for each Lot. Must exceed Heritage requirements	
All	Additional Foundation Screening required for visible foundation.	
*Tree caliper is measured 12" from base of tree		
*Visible Fencing of 60' or more in length requires One Corner Lot PLUS One 2" Corner Side Tree.		



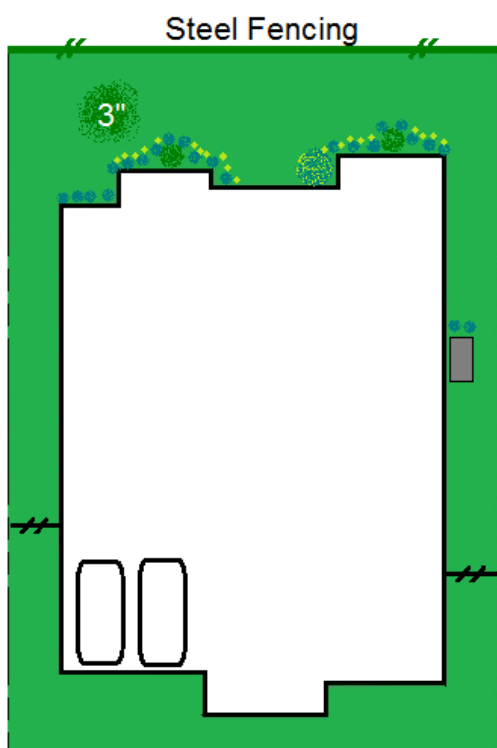
Classic Lots



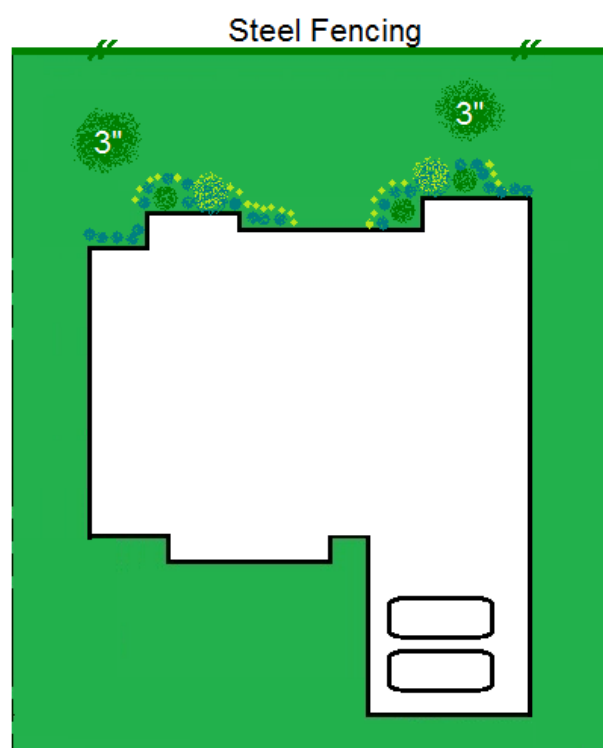
Heritage Lots

3. Visible Rear Yard: Rear Yards that have a view. Landscape planting beds must be located along the rear of the home. Exposed foundations are prohibited.

Visible Rear Yard Planting Area					
Lot Size	Yard Tree*	30 Gallon Ornamental Tree*	15 Gallon Shrubs	5 Gallon Shrubs	1 Gallon Plants**
Classic 70'	One 3" caliper Hardwood Tree	1	2	15	20
Heritage 90' – 110'	Two 3" caliper Hardwood Tree	2	3	15	25
Legacy 110' +	Landscape Plan required for each Lot. Must exceed Heritage requirements				
*Trees caliper are measured 12" from base of tree					
**Perennials. Annuals do not apply to required Plant count.					
May increase 15 gal. and decrease 1 gal. shrubs.					



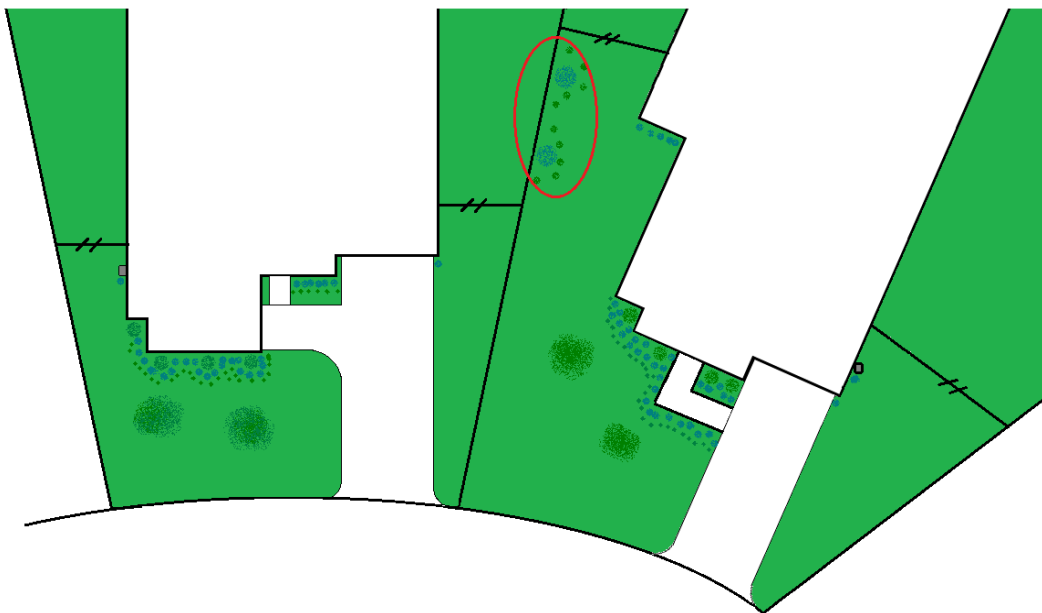
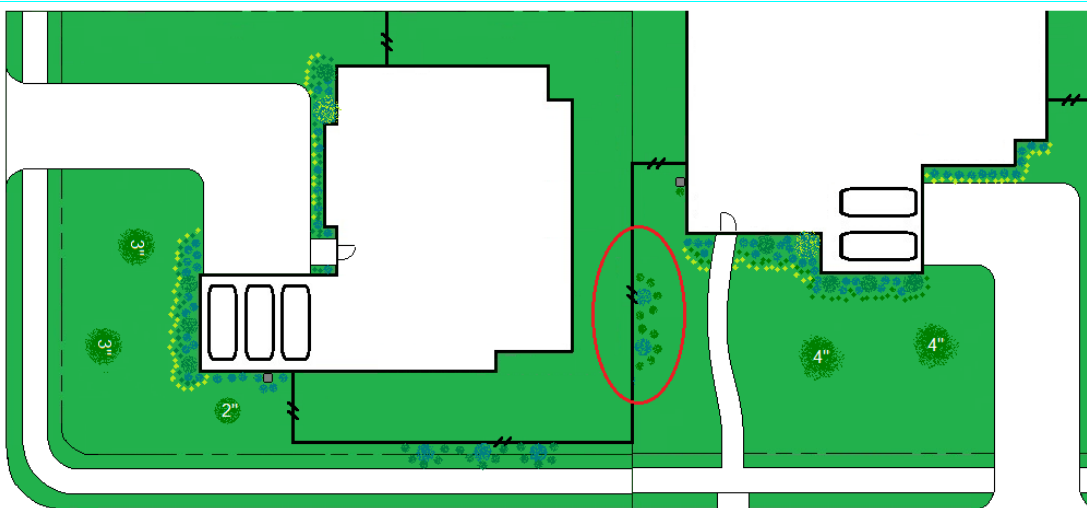
Classic Lot



Heritage Lot

4. Landscape Buffer: For visible fencing exceeding 30' in length and/or exposed foundation of Corner Lots and Open Space

Landscape Buffer		
Lot Size	15 Gallon Shrubs*	5 Gallon Shrubs*
Classic 70'	2	10
Heritage 90' – 110'	2	10
Legacy 110' +	Landscape Plan required for each Lot. Must exceed Heritage requirements	
*All visible Fencing more than 60' in length requires double the quantities above.		



#### **E. Screening**

1. All utilities from public view: Utility boxes, pedestals, meters etc.
2. Foundation visible from R.O.W. and/or public view including exposed garage foundation facing R.O.W.
3. Pool, HVAC, water softeners, etc.
4. Screening shall be of a height at least equal to half of the height of the equipment

#### **F. Sod**

1. Type
  - a. Required:
    - i. TifTuf Certified Bermuda grass
    - ii. Zeon Zoysia
2. Location:
  - a. All Visible yard
3. Prohibited:
  - a. St. Augustine

#### **G. Mulch *revised 5.11.2020.***

1. Required Mulch:
  - a. Type:
    - i. Natural wood
  - b. Colors:
    - i. Brown or natural color, Black
2. Prohibited Mulch:
  - a. Type: Artificial
  - b. Colors: All other dyed colors

#### **H. Irrigation**

1. All visible yards

## I. Preferred Plant List

### Hardwood Yard Trees

*Cerciscanadensis* 'Texas Redbud'  
*Fraxinus pennsylvanica*  
*Platanus mexicana*  
*Quercus laurifolia*  
*Quercus shumardii*  
*Quercus virginiana*

Texas Redbud  
Green Ash  
Mexican Sycamore  
Laurel Oak  
Shumard Oak  
Live Oak

### Additional Trees

*Crataegus marshalli* eggl.  
*Ilex decidua*  
*Ilex vomitoria*  
*Juniperus virginiana*  
*Liquidambar styraciflua*  
*Myrica cerifera*  
*Magnolia grandiflora*  
*Olea europaea* 'Arbequina'  
*Populus deltoides*  
*Quercus lyrata* 'Highbeam'  
*Quercus macrocarpa*  
*Quercus nuttallii*  
*Quercus polymorpha*  
*Taxodium distichum*  
*Taxodium mucronatum*  
*Ulmus americana*  
*Ulmus crassifolia*  
*Vitex angustifolia*  
*Viburnum rufidulum*

Parsley Hawthorn  
Possumhaw  
Yaupon Holly  
Eastern Red Cedar  
Sweetgum  
Southern Wax Myrtle  
Magnolia  
Arbequina Fruiting Olive  
Eastern Cottonwood  
Highbeam Overcup Oak  
Burr Oak  
Nuttall Oak  
Monterrey Oak  
Bald Cypress  
Motezuma Cypress  
American Elm  
Cedar Elm  
Chaste Tree  
Blackhaw Viburnum

### Shrubs

*Callicarpa americana* L.  
*Buddleia davidii*  
*Anisacanthus quadrifidus*  
*Rhus aromatica*  
*Ilex cornuta* 'Burfordii'  
*Ilex vomitoria* 'Nana'  
*Lantana urticoides*  
*Nandina domestica*  
*Nerium oleander* 'Dwarf'  
*Rosa radrazz*  
*Rosmarinus officinalis*  
*Leucophyllum frutescens*  
*Myrica cerifera*  
*Distylium 'Piidist-II'* Plant Patent #24,409  
*Itea virginica*  
*Juniperus x pfitzeriana* 'Sea Green'  
*Viburnum awabuki* 'Chindo'

Beautyberry  
Butterfly Bush  
Flame Acanthus  
Fragrant Sumac  
Burford Holly  
Dwarf Yaupon Holly  
Texas Lantana  
Nandina  
Dwarf Oleander  
Knockout Rose  
Rosemary  
Texas Sage  
Wax Myrtle  
Blue Cascade Evergreen Distylium  
Virginia Sweetspire  
Sea Green Juniper  
Chindo Sweet Viburnum

### Perennials

*Aloe cameronii*  
*Coreopsis integrifolia*  
*Dryopteris x australias*  
*Dietes bicolor*  
*Dianellarevoluta* 'Allyn-Citation' PP22965  
*Gauralindheimeri*  
*Iris hexagona*  
*Iris x robusta*  
*Iteavirginica*  
*Leucophyllum frutescens*  
*Liatris spicata*  
*Malvaviscus arboreus* var. *drummondii*  
*Muhlenbergia capillaris* 'Pink Muhly'  
*Nephrolepis biserrata*  
*Neomarica caerulea*  
*Rudbeckia fulgida* var. *Sullivantii* 'Goldstrum'  
*Sabal minor*  
*Zephyranthes candida*

Red Aloe  
Fringeleaf Tickseed  
Dixie Wood Fern  
Butterfly Flag  
Clarity Blue Dianella  
Lindheimer's Beeblossom  
Louisiana Iris  
'Gerald Darby' Iris  
Virginia Sweetspire  
Texas Sage  
Blazing Star  
Turk's Cap  
Gulf Coast Muhly  
Macho Fern  
Giant Walking Iris  
Coneflower  
Dwarf Palmetto  
Rain Lily

### Grasses

*Chasmodon latifolium*  
*Muhlenbergia capillaris* 'Irvine'  
*Muhlenbergia lindheimeri*  
*Miscanthus sinensis* 'Little Kitten'  
*Miscanthus sinensis* 'Morning Light'

Northern Sea Oats  
Plumetastic Pink Muhly Grass  
Lindheimer Muhly  
Little Kitten Grass  
Morning Light Maiden Grass

### Groundcovers

*Dichondra argentea* 'Silver Falls'  
*Eragrostis curvula*  
*Ficus tikoua*  
*Lantana x hybrid* 'New Gold'  
*Liriodendron 'Tidwell's Big Blue'*  
*Pennisetum alopecuroides* 'Hameln'  
*Rosmarinus officinalis* 'Prostratus'

Silver Falls Dichondra  
Weeping Lovegrass  
Sandy Leaf Fig Ivy  
New Gold Lantana  
Lily Turf  
Dwarf Fountain Grass  
Creeping Rosemary

### Vines

*Clematis paniculata*  
*Ficus pumila*  
*Gelsemium sempervirens*  
*Trachelospermum jasminoides*

Sweet Autumn Clematis  
Creeping Fig  
Carolina Jessamine  
Star Jasmine

## J. Prohibited Plant List

1. All Yucca plants, Bamboo, Cactus, Invasive Vines and Ornamental Trees, Palms in front yard,
2. Chinaberry, Chinese Parasol Tree, Chinese Pistache, Chinese Tallow, Common Privet, Common Water Hyacinth, Elephant Ear, Eurasian Watermilfoil, Giant Cane, Holly Fern, Japanese Honeysuckle, Johnson Grass, Kudzu, Mimosa (Silk Tree), Nandina, Paper Mulberry, Poison Ivy, Pyracantha, Running Bamboo, Russian Olive, Tamarisk (Salt Cedar), Tree of Heaven, White Mulberry, Wisteria

## IV. Construction Guidelines

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### A. Builder's Compliance

The following Construction Guidelines (Guidelines) shall apply to any and all work performed on or within Greens Prairie Reserve.

1. All Builders shall be bound by any County building codes and all other applicable governing authority.
2. The Builder shall comply with these Guidelines throughout all construction phases.
  - Non-compliance will result in written notification of any observed violation(s) from the ARC via Email to the Field Supervisor, Construction Manager, and Project Manager.
  - The Builder will have 5 business days from notification to correct the violation item(s).
  - If item(s) are not corrected within the 5 business days a second written notification will be sent.
  - Failure to address violation notices will result in applicable fines and could affect approval of future submittals.

### B. Governing Authority

All Applicants shall comply with the regulations of any governing authority, as well as all applicable Occupational Safety and Health Act Regulations and Guidelines (OSHA).

### C. SWPPP Permits

Builders to post required Large Site Construction Permits on designated posting signs installed by Developer.

### D. Construction Signage

Unless required by local governing authorities, no construction signs may be posted anywhere in Greens Prairie Reserve. The exception being, the ARC may authorize a Builder to post one construction sign per Lot. See Builder Signage.

- Such sign must be designated and approved by the ARC.
- Location must also be approved by the ARC.

### E. Safety Items

Each Builder Field Super, Construction Manager or Project Manager required to have a 10lbs ABC-rated dry chemical fire extinguishers available on-site at all times.

- It is recommended that at least three 10lbs ABC-rated dry chemical fire extinguishers be present and available in a conspicuous place on the construction site at all times.

### F. Construction Trailers, Portable Field Offices, Sales Trailers Etc.

Any Applicant who desires to bring a sales trailer, construction trailer or field office into Greens Prairie Reserve must be submitted for ARC approval. The location of such trailers or offices must also be submitted in writing to the Greens Prairie Reserve ARC. Requests must include a copy of the site plan with proposed location and description of trailer or office.

- All trailers are required to be completely skirted.
- Landscape screening is required for all trailers and must receive ARC Approval.
- All storage areas require fencing on all sides.
- All temporary sales structures must be removed upon completion of construction of the model home.

### G. Construction Access

The only approved construction access during the time a residence or other improvement is under construction will be over the approved driveway for the Lot unless the ARC approves an alternative access point.

## **H. Vehicles and Parking Areas**

Builders will be responsible for assuring that their contractors, subcontractors and suppliers obey all requirements regarding within Greens Prairie Reserve.

- The Builder and its subcontractors/suppliers shall use extreme caution around occupied properties.
  - Once occupied properties exist, the Developer may restrict parking to one side of the street only.
  - Resident complaints shall be courteously addressed and resolved quickly.
    - Repeat offenders will be reported to the local County Law Enforcement office.
- All vehicles must obey the speed limits posted within the Development.
  - Adhering to the speed limits should be a condition included in the contract between the Builder and its subcontractors/suppliers.
- Private and construction vehicles, and machinery shall be parked only within the Builders Lot and construction area.
  - There shall be no parking on, or otherwise use of, other Lots or any open spaces.
- All vehicles shall be parked so as not to inhibit traffic at any time.
  - Unloading and loading of materials: Drivers shall immediately move vehicles to allow for through traffic
- At no time shall vehicles be allowed to park under existing trees and must stay off of and away from tree roots.

## **I. Sanitary Facilities**

Sanitary facilities for Builder's construction workers must be supplied by each Builder.

- Must be maintained at all times
- Must be located on the Builders Lot
- Must be within 2 Lots of construction
- Must not be placed within the R.O.W. of any Lot

## **J. Materials and Supplies**

Builder must maintain and manage all on-site Materials and Supplies throughout the construction phase.

- Items must be stored on the slab or inside the dwelling when not in use, or in an orderly fashion on the Lot.

## **K. Debris and Trash Removal**

Builders shall clean all trash and debris on the construction site on a daily basis.

- During the construction period, each construction site shall be kept neat and clean and shall be properly policed to prevent it from becoming an eyesore or affecting other Lots or any open space.
- Each Builder is required to construct a trash containment area within the Lot, outside of the R.O.W.
  - Trash containment must be marked with Lot address
  - Trash containment area to be 4 sided, at least 4'x8' plywood
  - Fines may be imposed for containment areas not kept intact during construction
- Orange construction fence should be placed on sides and rear of construction Lot to prevent construction debris from blowing into adjacent Lots.
  - Lightweight materials, packaging and other items shall be covered or weighted down to prevent being blown off the construction site.
  - Builders are required to promptly retrieve all trash and debris blown onto streets and neighboring properties.
- Builders are *prohibited* from dumping, burying or burning trash anywhere within Greens Prairie Reserve.



#### **L. Excavation Materials**

Excess excavation materials shall be hauled away from Greens Prairie Reserve and properly disposed of.

- Failure to do so shall result in the ARC removing the material and charging the expense to the Builder.

Excavation materials may not be deposited on any Reserves or Lots not belonging to that builder.

- Such materials found shall result in the ARC removing the material and charging the expense to the Builder(s) within the Section.

#### **M. EPA - SWPPP**

Each Builder shall comply with the Environmental Protection Agency's Storm Water Pollution Prevention Program (SWPPP) or other governmental authorities on similar issues.

- SWPPP Book must be on-site at all times.
- NOI / Large Construction Site notice must be posted at all times for all Lots.
- SWPPP Plan and NOI / SWPPP Permit to be submitted with Site Plan Submittal for each Lot.

#### **N. Safety Fencing**

Orange plastic fencing w/metal posts to protect residents from construction areas and prevent construction trash from flowing outside of the construction site.

- Required for all construction areas
- Fencing should be placed on both sides and rear, if necessary, of construction site.
  - Builders with adjacent construction sites may enclose perimeter of the combined sites
- Fencing must remain in place and in good repair until construction is complete.
  - Must be repaired or replaced as needed
  - May be removed when landscaping is installed and lawns are established

#### **O. Restoration or Repair of Other Property Damages**

Damage or scarring of any property outside the construction Lot, including but not limited to roads, driveways, sidewalks, lighting, utilities, vegetation and/or other improvements, etc. that results from construction operations will not be permitted.

- If any such damage occurs, it must be repaired and/or restored promptly and at the expense of the Builder.
- Repair/restoration must be completed within 10 business days.
  - If the Builder fails to restore/repair the damaged area within the required 10 business days, the ARC may repair the area and impose the expense as a charge against the construction deposit, including a 20% administrative fee.
  - In the event of default by the Builder in meeting these obligations or if the construction deposit is insufficient to meet the obligation, the Builder shall be responsible and a lien may be recorded against the Lot until paid.

#### **P. Concrete Washout**

Concrete Washout for all Builders:

- Roll-Off Containers must be used by all Builders
- Must be maintained at all times:
  - Removal and replacement required on a regular basis, as needed
  - Areas surrounding Roll-Off must be maintained
  - Concrete spills must be removed immediately
- Multiple Builders building within a Section may share a Roll-Off container:
  - Written agreement must be signed by all Builders and copy given to the ARC.
  - Cleanup of the "Washout" may be shared by all Builders on an alternating monthly basis or as needed.

#### **Q. Street Cleaning**

All streets in front of a construction site are to be free from dirt, debris and spilled concrete.

- Mud and dirt from the construction site on the paved streets, whether caused by the Builder or any of its subcontractors or suppliers, shall be promptly removed and streets shall be cleaned by the Builder.
  - All streets must be cleaned daily or as needed.
  - All streets must be clean each Friday before weekend sales activity.

#### **R. Sediment Control**

As soon as earthwork commences, sediment control methods shall be installed to filter all storm water runoff from the tract into the public street.

- Builders shall conform to all regulatory agencies' rules, regulating standards and criteria governing sediment control to include, but not limited to, EPA-NPDES and Pollution Prevention Plan.
  - Builders shall be responsible for filing and securing all necessary permits.
- Silt Containment:
  - Silt fence must be used on all Lots under construction and/or empty Lots without adequate vegetation to contain all silt.
  - Silt fencing to be placed along the R.O.W, back of curb.
  - Must be maintained at all times and replaced as needed to contain silt
- Inlet Protection: Sediment control must be placed at all inlets.
  - Curb Inlet Protection: Such as Geocurve Inlet Filter, GutterEEL
  - Must cover entire length of inlet
  - Must be replaced as needed to prevent debris/silt from entering inlet
  - Must be removed when construction completed in all surrounding areas
  - Inlets must be free of debris and accumulated silt at all times
  - Sand/Gravel bags are prohibited.
- The sediment control systems must remain in place and in good repair until construction is complete.
  - Must be repaired or replaced as needed to contain silt
  - May be removed when landscaping is installed and lawns are established

#### **S. Lot Maintenance**

At all times Builders shall maintain all Lots under construction, as well as the Builders empty Lots.

- All weeds and grass shall be cut in a low-laying and attractive manner.
  - If Builder fails to maintain an empty Lot, ARC will advise Lot must be maintained within 10 business days.
    - If after 10 business days, ARC may maintain the area and impose the expense as a charge against the construction deposit, including a 20% administrative fee.
- No Lot may be used for the storage of materials or equipment except for normal residential requirements or incident to construction of improvements is permitted.
  - In such case, all materials and equipment shall be stored on Builder owned Lots so as not to be visible from any street. See D. Material and Supplies.
- Debris must be removed from all empty Lots daily

#### **T. Stealing**

Stealing within Greens Prairie Reserve at anytime including and not limited to materials, water or electricity from neighboring/occupied resident Lots will result in fines or legal action.

- Builders will be responsible for any and all damages.
- Violators will be prosecuted to the fullest extent of the law.

## U. Illegal Dumping

Dumping of any type onto an empty Lot or construction site is *prohibited*.

- Building materials that obviously belong to another builder must be picked up by that builder.
  - If Builder fails to remove dumped materials, ARC will send notice to remove within 10 business days
  - If after 10 business days, ARC may maintain the area and impose the expense as a charge against the construction deposit, including a 20% administrative fee.

## V. Miscellaneous and General Practices

All Builders will be completely responsible for the conduct and behavior of their agents, representatives and subcontractors while in Greens Prairie Reserve.

The following practices are *prohibited*:

1. Changing oil of any vehicle or equipment on the Lot itself or any other location within Greens Prairie Reserve.
2. Allowing concrete suppliers, plasterers, painters or any other subcontractors to clean their equipment anywhere other than designated location(s) approved by the ARC.
  - Such cleaning outside the designated area is strictly *prohibited*.
  - Violation of this provision will result in the repayment of expenses for repairing the damage to be paid by the Builder to the ARC.
3. Removing any rocks, plant material, topsoil or similar items from any property or construction site within Greens Prairie Reserve is prohibited.
4. Possession of any type of firearms or illegal weapons within Greens Prairie Reserve.
5. The use of residents' utilities without their written consent.
6. Using disposal methods or equipment other than those approved by the ARC.
7. Careless disposition of cigarettes or other flammable material.
8. The use of illegal drugs or alcohol is *prohibited*.
9. Destruction or removal of protected plant materials or plants without prior approval by ARC.
10. No pets, including dogs, may be brought into Greens Prairie Reserve by either Builders or construction personnel. In the event of a violation the ARC, Declarant, or the Association has the right to contact authorities to inspect/impound any pet, refuse to permit the Builder or subcontractor involved to continue on the project or to take such other action as permitted by law.
11. Radios and other audio equipment:
  - May be used only during construction hours
  - Must not be heard outside the construction site
12. Catering Trucks/Food Services:
  - Trash generated by the purchase of items from any catering truck shall be contained and disposed of properly.
    - Repeated problems with these requirements will result in the catering trucks being denied admittance to into Greens Prairie Reserve.
  - The use of horns not used for traffic safety by any catering trucks is prohibited.

## W. Daily Operation

Daily working hours for each construction site shall be as follows:

<b>Monday – Friday:</b>	<b>7 a.m. to 7 p.m.</b>
<b>Saturday:</b>	<b>9 a.m. to 6 p.m.</b>
<b>Sunday:</b>	<b>10 a.m. to 6 p.m.</b>
<b>Designated Holidays:</b>	<b>9 a.m. to 6 p.m.</b>

Builders may acquire permits from the City to begin concrete work prior to 7am. Proof of permit must be submitted to the ARC.

Construction hours may be subject to change per requirements of applicable City/County ordinances, and may be modified as determined by ARC from time to time.

## V. Architectural Review Process

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### A. Introduction

The official submittal of plans and specifications to the ARC is to provide a review process for conformance to the CCR's and the Guidelines, adopted by the ARC. All new construction, subsequent construction, remodeling with exterior exposure, expansion and demolition of structures must be reviewed and Approved by the ARC prior to commencement of any on-site building or construction activity.

Prior to Construction, all new home plans must be submitted to the Greens Prairie Reserve Architectural Review Committee for review. It is the Applicant's responsibility to ensure compliance with the Greens Prairie CCR's and Guidelines. The site plan, architecture and landscape must be Approved in writing by the ARC before construction begins. A Final Review before closing of the property is also mandatory.

**Master Plan, Site Plan Submittals, Pre-Construction and Final Review** requested emailed to:

**beverly@mccauleyarc.com**

**Fees** must be sent, payable to McCauley Architectural Reviews, Inc.:

**Greens Prairie Reserve ARC  
13711 Pristine Lake Lane  
Cypress TX 77429**

ARC will review all submittals within 10 business days of receipt. Submittals will receive either an Approval, Conditional Approval or a Disapproval. Signed copy of the submittal will be emailed to Builder within 48 hours of ARC review. Construction may not begin without a signed Approved or Conditionally Approved Submittal.

- a. **"Approved"** - The entire application is Approved as submitted.
- b. **"Conditional Approval"** - The application is not Approved as submitted. A Conditional Approval is granted with the understanding that all conditions requested by the ARC will be met before, during or after construction. Failure to agree to the Conditions requested will deem the application Disapproved. The Builder may be required to resubmit prior to the construction or alteration in order to receive Approval.
- c. **"Disapproved"** - The entire application as submitted is rejected. The ARC may provide comments, though are not required to do so. If the ARC fails to respond within 15 business days, the Builder shall give the ARC written notice of its failure to respond. Unless the ARC responds within an additional 10 business days of receipt of such notice, Submittal shall be deemed automatically Denied.
- d. **Variances** – Reasonable variances may be granted upon written request, as long as the variance is in conformance with the overall intent of the master plan for the improvement and development of the property. Builder must address the variance request in writing and the reason(s) why the request should be granted. All applicants must comply with the conditions for approval that may be imposed on a variance.

### B. Disclaimer

Neither the Greens Prairie Reserve Community Association, Inc. or the members of the Architectural Review Committee or its representative, their successors or assigns, shall be liable in damages to anyone submitting plans to them for approval, or to any owner or lessee of any parcel affected by these restrictions, by reason of mistake in judgment, negligence or nonfeasance arising out of or in connection with the approval or disapproval or failure to approve any plans submitted. Every person who submits plans to the Committee for approval agrees by submission of such plans, and every owner or lessee of any parcel within the property agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against Greens Prairie Reserve Community Association, Inc. or the members of the ARC, or its representatives, to recover any damages.

- C. Classic and Heritage Submittal Requirements** Only complete submittals will be reviewed. Builder will have responsibility for compliance of all governing codes and ordinances.

#### **Master Plan Submittal**

##### **Check for \$125.00 – Fee includes all elevations per Submittal**

Full set of 11x17" plans showing:

- Define Elevation Styles
- All elevations including Detached Garages and Porte Cocheres
- AC Living Square Footage
- All Floor Plans, including options
- Roof Pitches and Plate Heights
- All materials to be used on all elevations

#### **Site Plan Submittal**

##### **Check for \$200.00: Includes Site Plan Review, Form Survey Review, Lot Grading & Slab Elevation Confirmation, SWPPP Plan, and first Final Review**

Site plan showing:

- Setbacks – Building Lines, R.O.W., Easements
- Proposed Slab Layout to be included with each Site Plan
- NOI / Stormwater Construction General Permit copy
- Fencing – type and placement
- Driveway – material, size, placement and radius
- Sidewalk- size and placement
- Walkway – material, size and placement
- AC Unit placement
- Exterior Selections – Manufacturer and color:
  - Brick/Stucco/Stone
  - Garage, Trim, Accent and Shutter
  - Roofing material

#### **Form Survey**

- Completed Form Survey:
  - Upon completion of form boards installation, Completed Form Survey must be submitted noting all four (4) corners of the form.
  - Reviewer to confirm Completed Form Survey matches Proposed Slab Layout.
- Approved Form Survey:
  - Upon completion of review, approved Form Survey to be sent to Builder within two (2) business days.
  - Once received, foundation approved to begin

#### **Lot Grading and Slab Elevation**

- All Lots must comply with the Lot Grading Exhibit for Lot Specific grading and Slab Elevation.
  - Upon completion of the form, "As Built Topography Survey" showing Elevation shots of each item noted on page 4 of the Lot Grading Exhibit
  - Complete "As Built Survey" to be sent to Developer and Reviewer
  - Reviewer to confirm Elevation Shots meet Lot Grading Exhibit requirements.

#### **Site Plan Re-submittal fee:**

**\$75.00** for changes to previously approved or unapproved Site or Plan



## **Pre-Construction Review**

**\$50.00 Fee:** Required for all Lots with **existing trees**

- Required for all Lots with existing trees to determine what trees may be saved
- Shall be requested by the Builder prior to any construction on the Lot
- Footprint of the home, driveway, patio, and walkway must be marked with survey tape prior to Review.
- Trees that are 6" caliper or larger and no closer than 5' from the foundation may be required to be saved.
- Trees are measured 12" from ground level.
- Trees to be saved will be marked with *pink* survey tape.
- \$1000 Fine for each tree removed without prior written approval.

Site underbrushing, clearing, or home construction may not begin without Site Plan Approval and an Approved Pre-Construction Review. SUBSTANTIAL FINES MAY BE LEVIED FOR SITE WORK CONDUCTED WITHOUT PRIOR ARC APPROVAL.

## **Final Reviews**

Mandatory Approved Final Review required for all dwellings to be sold within Greens Prairie Reserve, to confirm compliance with the ARC approvals and Guideline requirements.

- Final Review required prior to closing of all dwellings.
  - First Final Review fee included in Site Plan Submittal fee.
  - Final Reviews must be requested by the Builder via email, no less than 5 business days prior to closing.
    - Final Reviews requested within 5 business days incur additional fees:
      - \$150 within 3 business days of closing
      - \$250 within 24 hours of closing
  - Final Reviews will be conducted every 2 weeks or as needed.
- Re-review required for Dwellings found non-compliant until all items are compliant.
  - \$75 fee for each Re-review applies to any home found non-compliant.
  - Corrections must be made within 2 weeks of the first Final Review.
  - Re-reviews will be conducted every 2 weeks or as needed.

## **Changes after Approval**

All proposed changes to plans that affect the exterior of any building, colors, windows, grading, flatwork, etc. must be submitted to and approved in writing by the ARC prior to implementation.

- \$45 fee for each exterior material and color selection change requested by Builder
- \$75 fee for all other changes requested by Builder

#### **D. Legacy Submittal Requirements**

Only complete submittals with the attached forms will be reviewed. Builders are responsible for compliance of all governing codes and ordinances.

##### **Master Plan Submittal**

**\$450.00 Fee: Includes all elevations per Submittal, Site Plan Review, Form Survey Review, Lot Grading & Slab Elevation Confirmation, SWPPP Plan, and first Final Review and first Final Review**

Full set of 11x17" plans showing:

- Define Elevation Style
- All elevations including Detached Garages and Porte Cocheres
- AC Living Square Footage
- Floor Plans, including options and Bonus options
- Roof pitches and plate heights
- All materials to be used on all elevations

##### **Site Plan Submittal**

Site Plan showing:

- Setbacks – Building Lines, R.O.W., Easements
- Proposed Slab Layout to be included with each Site Plan
- NOI / Storm Water Construction General Permit copy
- Fencing – type and placement
- Driveway – material, size, placement and radius
- Sidewalk- size and placement
- Walkway – material, size and placement
- AC Unit placement
- Driveway /Walkway Paving material
- Exterior Selections – Manufacturer and color
  - Brick/Stucco/Stone
  - Garage, Trim, Accent, and Shutter
  - Roofing material

##### **Form Survey**

- Completed Form Survey:
  - Upon completion of form boards installation, Completed Form Survey must be submitted noting all four (4) corners of the form.
  - Reviewer to confirm Completed Form Survey matches Proposed Slab Layout.
- Approved Form Survey:
  - Upon completion of review, approved Form Survey to be sent to Builder within two (2) business days.
  - Once received, foundation approved to begin

##### **Lot Grading and Slab Elevation**

- All Lots must comply with the Lot Grading Exhibit for Lot Specific grading and Slab Elevation.
  - Upon completion of the form, "As Built Topography Survey" showing Elevation shots of each item noted on page 4 of the Lot Grading Exhibit
  - Complete "As Built Survey" to be sent to Developer and Reviewer
  - Reviewer to confirm Elevation Shots meet Lot Grading Exhibit requirements.

##### **Site Plan Re-submittal fee:**

**\$150.00** for changes to Site or Plan

**Pre-Construction Review:****\$50.00 Fee:** Required for all Lots with **existing trees**

- Required for all Lots with existing trees to determine what trees may be saved
- Shall be requested by the Builder prior to any construction on the Lot
- Footprint of the home, driveway, patio, and walkway must be marked with survey tape prior to Review
- Trees that are 6" caliper or larger and no closer than 5' from the foundation may be required to be saved
- Trees are measured 12" from ground level.
- Trees to be saved will be marked with *pink* survey tape.
- \$1000 Fine for each tree removed without prior written approval.
- \$50 Re-review fee for additional Pre-Construction Review if needed

Site underbrushing, clearing, or home construction may not begin without Master Plan Approval, Site Plan Approval and an Approved Pre-Construction Review. **SUBSTANTIAL FINES MAY BE LEVIED FOR SITE WORK CONDUCTED WITHOUT PRIOR ARC APPROVAL.**

**Final Review**

Mandatory Approved Final Review required for all dwellings to be sold within Greens Prairie Reserve, to confirm compliance with the ARC approvals and Guideline requirements.

- Final Review required prior to closing of all dwellings.
  - First Final Review fee included in Site Plan Submittal fee.
  - Final Reviews must be requested by the Builder via email, no less than 5 business days prior to closing.
    - Final Reviews requested within 5 business days incur additional fees:
      - \$150 within 3 business days of closing
      - \$250 within 24 hours of closing
    - Final Reviews will be conducted every 2 weeks or as needed.
- Re-review required for Dwellings found non-compliant until all items are compliant
  - \$75 fee for each Re-review applies to any home found non-compliant.
  - Corrections must be made within 2 weeks of the first Final Review.
  - Re-reviews will be conducted every 2 weeks or as needed.

**Changes after Approval**

All proposed changes to plans that affect the exterior of any building, colors, windows, grading, flatwork, etc. must be submitted to and approved in writing by the ARC prior to implementation.

- \$45 fee for each exterior material and color selection change requested by Builder
- \$75 fee for all other changes requested by Builder

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**Greens Prairie Reserve Builder Guidelines and Architectural Review Process****Builder Acknowledgement and Confirmation of Receipt:**

\_\_\_\_\_  
**Builder**

\_\_\_\_\_  
**Name**

\_\_\_\_\_  
**Title**

\_\_\_\_\_  
**Date**



# GREENS PRAIRIE RESERVE

## Classic and Heritage Master Plan Submittal

Prior to construction, Master Plans must be submitted to the Greens Prairie Reserve ARC for review and approval.

Completed form and full Master Plan Set to be sent via email to [beverly@mccauleyarc.com](mailto:beverly@mccauleyarc.com).

\$125 Submittal Fee, payable to McCauley Architectural Reviews, Inc., to be sent to the Greens Prairie Reserve  
ARC: 13711 Pristine Lake Lane Cypress TX 77429.

Date Submitted: \_\_\_\_\_

Submittal Fee (\$125): \_\_\_\_\_

Builder: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Section: \_\_\_\_\_

Classic: \_\_\_\_\_

Heritage: \_\_\_\_\_

Plan Name / Plan #	Elevations	Architectural Style	# of Stories	% of Masonry	Living Area Sq. Ft.	Approved	Conditional Approval	Disapproved
_____	_____	_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____	_____	_____

Plan Width: \_\_\_\_\_

Plate Height: \_\_\_\_\_

Garage Configuration: Swing-In: \_\_\_\_\_ Side Loaded: \_\_\_\_\_ Front Loaded: \_\_\_\_\_ Tandem: \_\_\_\_\_

Total # of Bays: # of Swing-In Bays= \_\_\_\_\_ # of Side Loaded Bays= \_\_\_\_\_ # Front Loaded Bays= \_\_\_\_\_

Conditions: \_\_\_\_\_

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Reviewer

Date

ARC

Date

It is the Builders responsibility to ensure compliance with the Greens Prairie Reserve Residential Design Guidelines.

Review and approval of any application may be made on the basis of aesthetic considerations only.

The Greens Prairie Reserve ARC shall not bear any responsibility for ensuring the structural integrity or soundness of Approved plans or construction, nor for ensuring compliance with building codes and other governmental requirements, nor for ensuring that all structures are of comparable quality, value or size, of similar design, or aesthetically pleasing or otherwise acceptable to neighboring property owners.



# GREENS PRAIRIE

## RESERVE

### Classic and Heritage Site Plan Submittal

Prior to construction, Site Plan must be submitted to the Greens Prairie Reserve ARC for review and approval. Completed form and Site Plan to be sent via email to [beverly@mccauleyarc.com](mailto:beverly@mccauleyarc.com). \$200 Submittal Fee, payable to McCauley Architectural Reviews, Inc., to be sent to The Greens Prairie Reserve ARC: 13711 Pristine Lake Lane, Cypress Texas 77429

Date Submitted: \_\_\_\_\_ Submittal Fee (\$200.00): \_\_\_\_\_

Builder: \_\_\_\_\_ Contact Name: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Product Type: \_\_\_\_\_ Classic: \_\_\_\_\_ Heritage: \_\_\_\_\_

Lot Type: \_\_\_\_\_ Parkland: \_\_\_\_\_ Corner: \_\_\_\_\_ Open Space: \_\_\_\_\_ Private Trail: \_\_\_\_\_

Estimated Start Date: \_\_\_\_\_ Estimated Completion Date: \_\_\_\_\_ Buyer or Spec: \_\_\_\_\_

Lot/Block/Section: \_\_\_\_\_ Address: \_\_\_\_\_

Plan Name / # and Elevation \_\_\_\_\_ Living Area Square Footage: \_\_\_\_\_

Garage Configuration: \_\_\_\_\_ Swing-In: \_\_\_\_\_ Side Loaded: \_\_\_\_\_ Front Loaded: \_\_\_\_\_ Tandem: \_\_\_\_\_

Total # of Bays: \_\_\_\_\_ # of Swing-In Bays= \_\_\_\_\_ # of Side Loaded Bays= \_\_\_\_\_ # Front Loaded Bays= \_\_\_\_\_

#### Exterior Materials:

Brick: \_\_\_\_\_ Trim: \_\_\_\_\_

Stucco: \_\_\_\_\_ Accent Paint: \_\_\_\_\_

Stone: \_\_\_\_\_ Roof Material and Color: \_\_\_\_\_

Other Exterior Items: \_\_\_\_\_ Shutters, etc: \_\_\_\_\_

Driveway Material: \_\_\_\_\_ Walkway and Walkway Landing Material: \_\_\_\_\_

Fencing Material: \_\_\_\_\_

Setbacks: Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Right Side: \_\_\_\_\_ Left Side: \_\_\_\_\_

**Form Survey:** Upon completion of form board installation, completed *Form Survey*, noting all 4 corners of the form, must be submitted for ARC review and approval. See Form Survey in the Architectural Review Process.

Office Use: Received Date: \_\_\_\_\_ Reviewed Date: \_\_\_\_\_ Approved Date: \_\_\_\_\_ Returned Date: \_\_\_\_\_

**Lot Grading and Slab Elevation:** Upon completion of the form, completed *As Built Survey* showing Elevation shots must be submitted for ARC review and confirmation. See Lot Grading Exhibit and As Built Topography Survey

Office Use: Received Date: \_\_\_\_\_ Reviewed Date: \_\_\_\_\_ Approved Date: \_\_\_\_\_ Returned Date: \_\_\_\_\_

**SWPPP Plan and NOI / SWPPP Permit:** Submitted with Site Plan Topography Survey

Office Use: Received Date: \_\_\_\_\_

Approved: \_\_\_\_\_ Approved with the following Conditions: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Conditions: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Reviewer

Date

ARC Member

Date

It is the Builders responsibility to ensure compliance with the Greens Prairie Reserve Residential Design Guidelines.

Review and approval of any application may be made on the basis of aesthetic considerations only.

The Greens Prairie Reserve ARC shall not bear any responsibility for ensuring the structural integrity or soundness of Approved plans or construction, nor for ensuring compliance with building codes and other governmental requirements, nor for ensuring that all structures are of comparable quality, value or size, of similar design, or aesthetically pleasing or otherwise acceptable to neighboring property owners.





# GREENS PRAIRIE RESERVE

## Legacy Master Plan and Site Plan Submittal Form

Prior to construction, the Master Plan and Site Plan must be submitted to the Greens Prairie Reserve ARC for review and approval. Submittals must be sent via email to [beverly@mccauleyarc.com](mailto:beverly@mccauleyarc.com). Submittal Fee, payable to McCauley Architectural Reviews, Inc., sent to The Greens Prairier Reserve ARC: 13711 Pristine Lake Lane, Cypress Texas 77429

Date Submitted: \_\_\_\_\_ Submittal Fee (\$450): \_\_\_\_\_

Builder Name: \_\_\_\_\_ Contact Name: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Buyer: \_\_\_\_\_

Lot/Block/Section: \_\_\_\_\_ Address: \_\_\_\_\_

Lot Type: Parkland \_\_\_\_\_ Open Space \_\_\_\_\_ Private Trail \_\_\_\_\_ Corner \_\_\_\_\_

Estimated Start Date: \_\_\_\_\_ Estimated Completion Date: \_\_\_\_\_

### Master Plan Submittal

Plan Name or #	Architectural Style	# of Stories	% of Masonry	Living Area Sq. Ft.	Approved	Conditional Approval	Disapproved
_____	_____	_____	_____	_____	_____	_____	_____

Builder Comments: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ARC Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Reviewer

Date

ARC

Date



# GREENS PRAIRIE RESERVE

## Pre-Construction Review Form

Preconstruction Reviews required for all Lots with existing trees, prior to clearing. Removal of any trees without ARC approval may incur a Fine per tree. Reviews are conducted Thursdays, as requested. All requests to be submitted by end of business the Tuesday prior. Completed form and Site Plan sent to [beverly@mccauleyarc.com](mailto:beverly@mccauleyarc.com). Review Fee, payable to McCauley Architectural Reviews, Inc., sent to The Greens Prairier Reserve ARC: 13711 Pristine Lake Lane, Cypress Texas 77429.

Date Submitted: \_\_\_\_\_ Review Fee (\$50.00): \_\_\_\_\_

Builder Name: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Lot/Block/Section: \_\_\_\_\_ Address: \_\_\_\_\_

Plan / Elevation: \_\_\_\_\_ Living Area SF: \_\_\_\_\_

Builder Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Approved \_\_\_\_\_ Approved with Conditions \_\_\_\_\_ Disapproved \_\_\_\_\_

Conditions: \_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Reviewer

Date

ARC

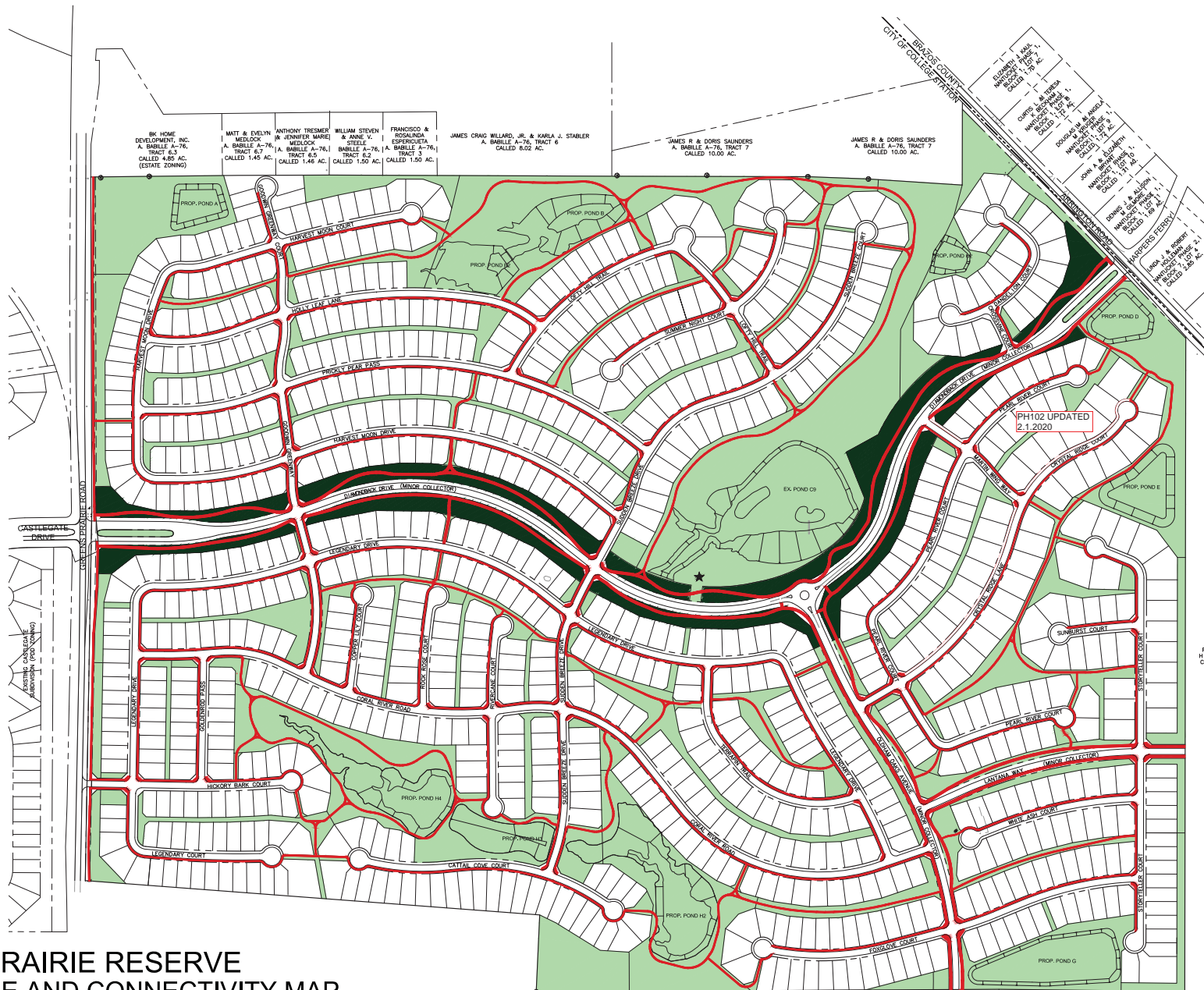
Date

Trees removed without prior approval incur a \$1000 fine per tree 6" caliper or greater, \$500 fine per tree under 6" caliper.

## VI. Exhibits

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**Open Space and Connectivity Map: Sidewalk Placement**  
**Lot Grading Exhibit**  
**As Built Topography Survey**  
**Fencing Overall Map**



# GREENS PRAIRIE RESERVE OPEN SPACE AND CONNECTIVITY MAP

College Station, Texas  
MAY 2018

LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	EXISTING WATER LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING MANHOLE
	MATCHLINE
	COMMON AREA
	PARKLAND AREA
	AMENITY CENTER WITH PUBLIC PARKING
	OPEN SPACE
	PARKLAND
	SIDEWALK

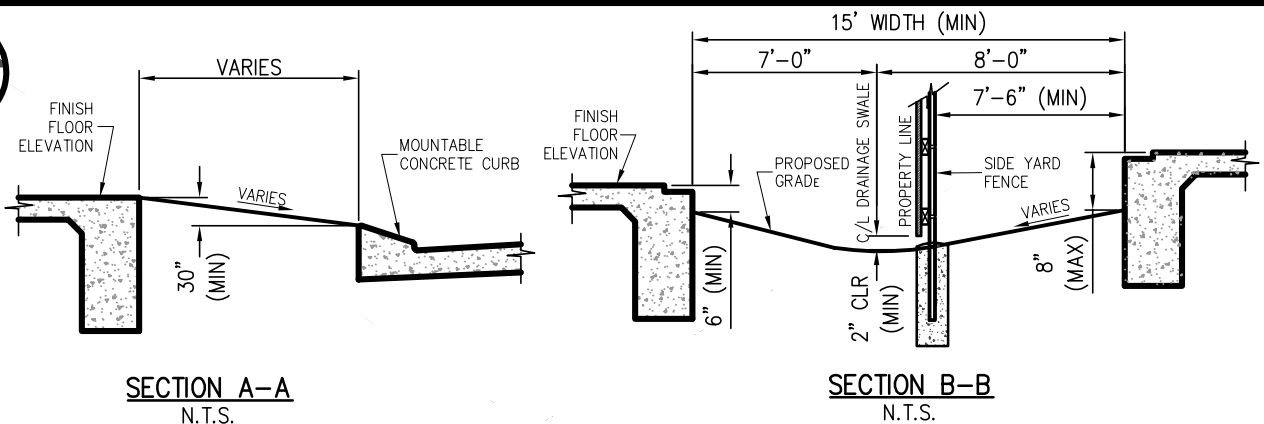
**Kimley»Horn**

2800 South Texas Avenue  
Suite 201  
Bryan, Texas 77802  
979-775-9595  
State of Texas Registration No. F-928

NOTE: THIS PLAN IS A CONCEPTUAL PLAN AND HAS BEEN PREPARED WITHOUT THE BENEFIT OF A SURVEY OR CONTACT WITH THE CITY COUNTY, ETC.

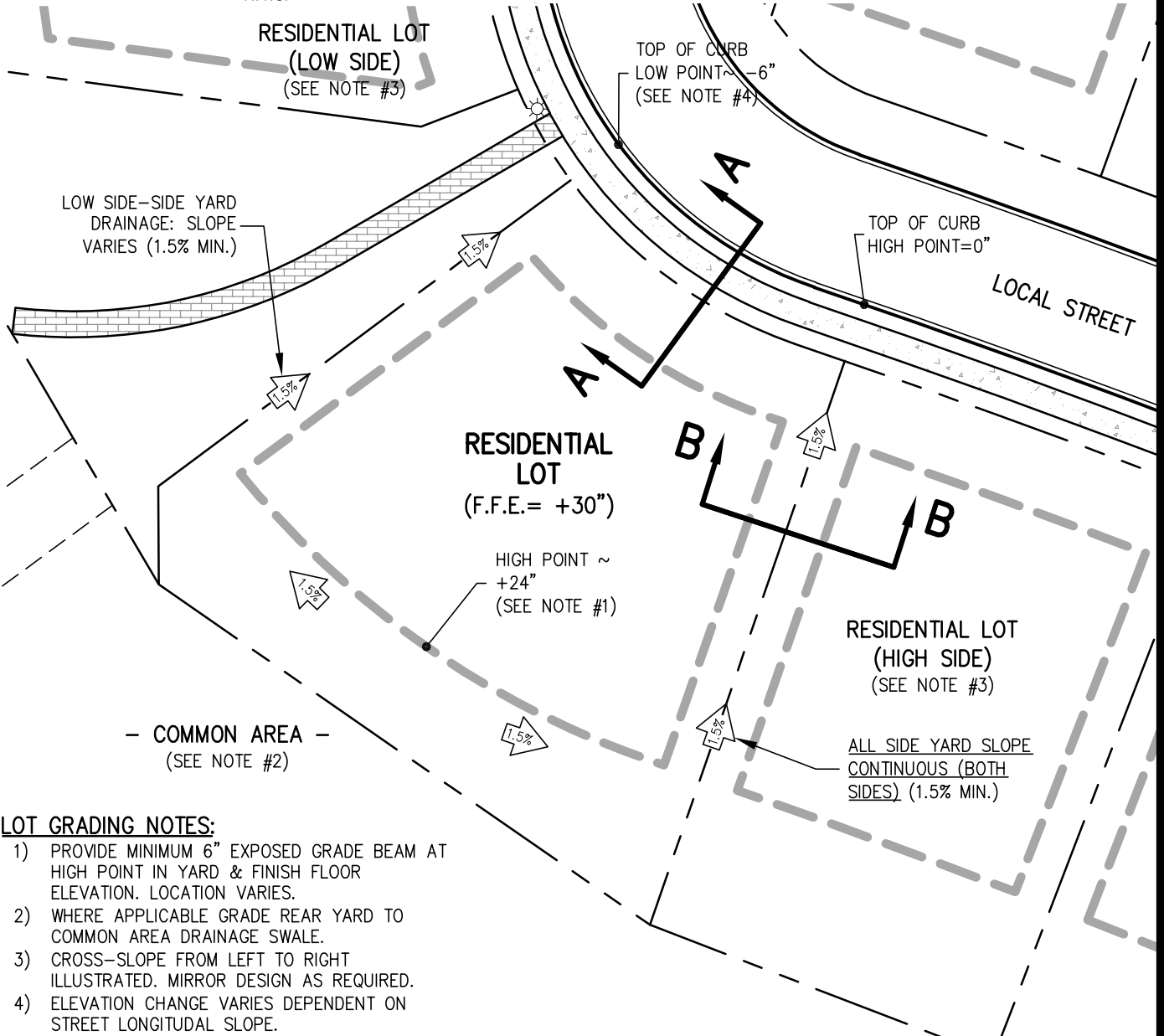






SECTION A-A  
N.T.S.

SECTION B-B  
N.T.S.



**LOT GRADING NOTES:**

- 1) PROVIDE MINIMUM 6" EXPOSED GRADE BEAM AT HIGH POINT IN YARD & FINISH FLOOR ELEVATION. LOCATION VARIES.
- 2) WHERE APPLICABLE GRADE REAR YARD TO COMMON AREA DRAINAGE SWALE.
- 3) CROSS-SLOPE FROM LEFT TO RIGHT ILLUSTRATED. MIRROR DESIGN AS REQUIRED.
- 4) ELEVATION CHANGE VARIES DEPENDENT ON STREET LONGITUDINAL SLOPE.

**RME**  
Consulting Engineers  
FIRM REGISTRATION No. F-4695  
POST OFFICE BOX 9253  
COLLEGE STATION, TX 77842  
EMAIL: civil@rmengineer.com  
OFF/FAX: (979) 764-0704

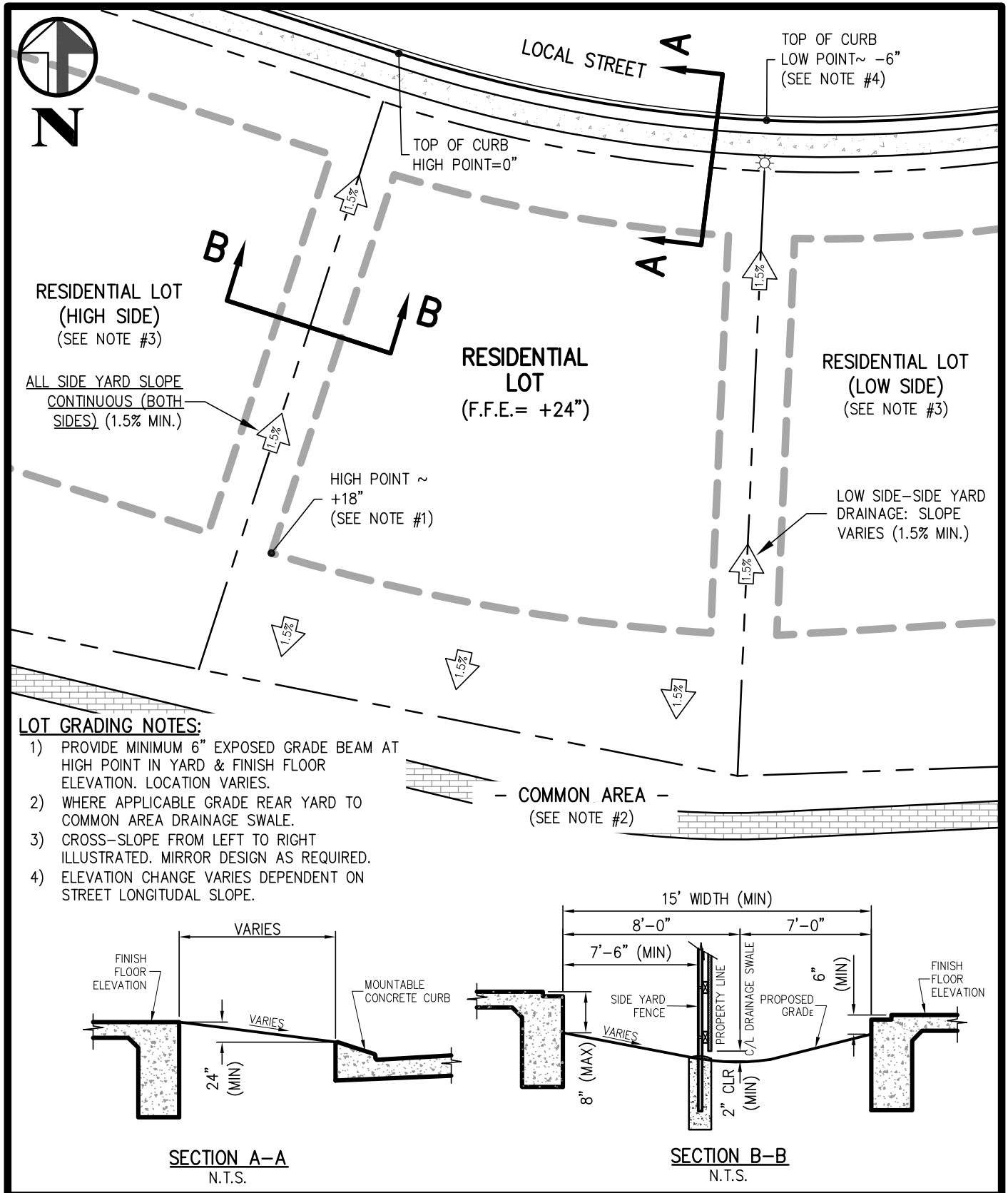
**GREENS PRAIRIE RESERVE, PHASE 102**  
**MID REAR to FRONT: LOT GRADING**  
BLOCK ONE, LOTS 1, 17, 48-53 & 57-59  
BLOCK TWO, LOTS 1-6  
BLOCK THREE, LOTS 1, 2 & 12

RME No. 325-0642

REV: 1  
DATE: 3/15/19  
FILE: LOT-GRADING  
SCALE: 1"=30'

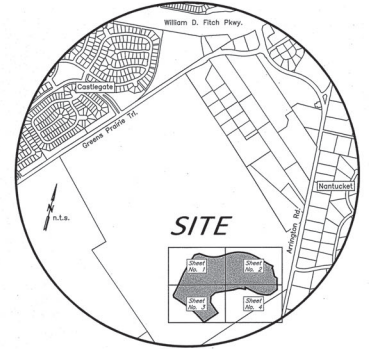
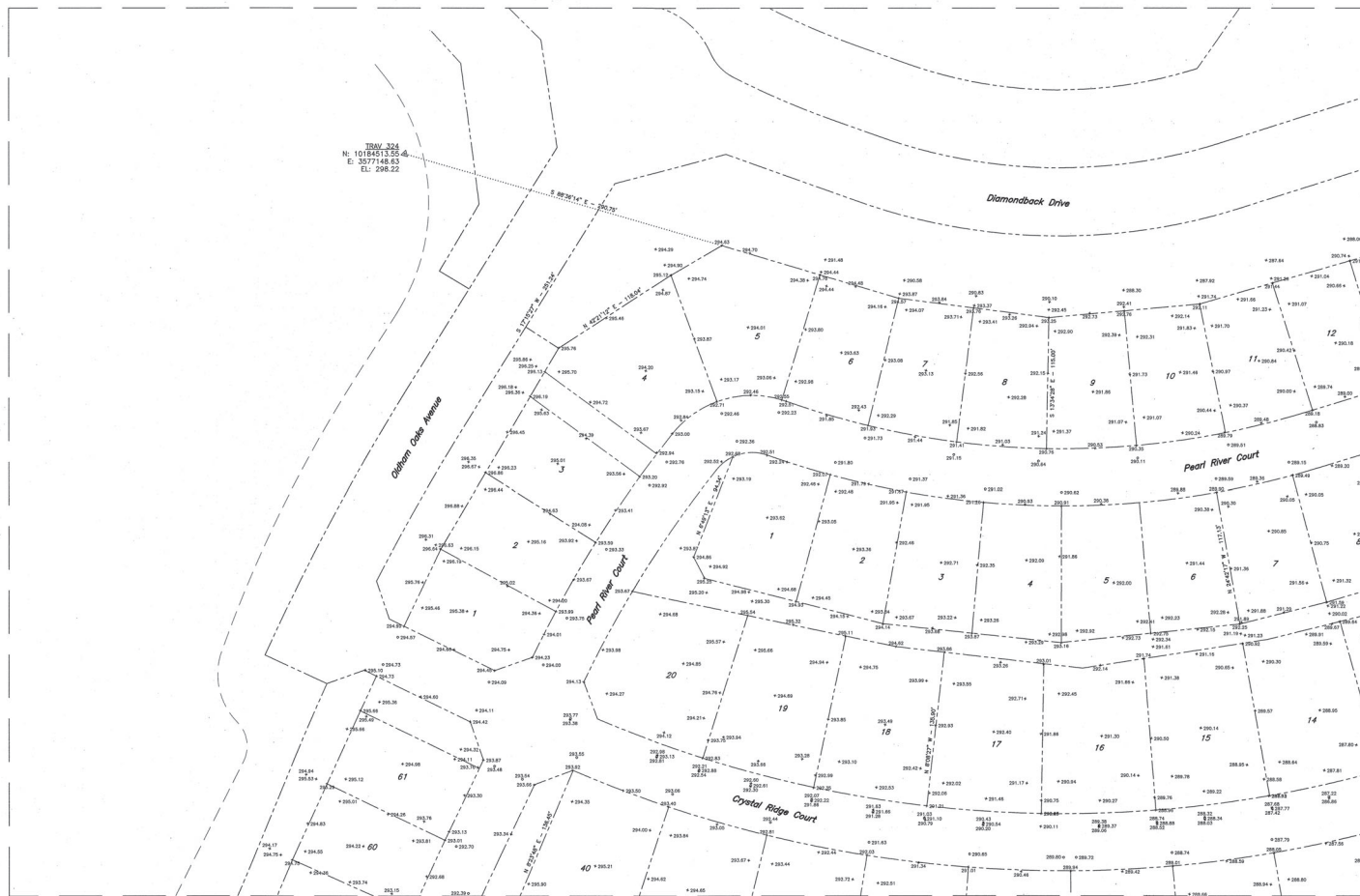
DRAWN BY: RAM  
CHK BY: RK

SHEET NO.  
2 OF 4  
SHEET TITLE  
**X-2**





BM 324  
N: 10184511.55  
E: 3577148.83  
EL: 248.22



VICINITY MAP

- GENERAL NOTES:
1. SYSTEM OF BEARING SYSTEM: Bearings are Texas State Plane, NAD83, Central Zone. Distances, shown hereon, are grid distances and may be converted to surface by applying a Scale Factor of 0.9999361.
  2. Elevations (NGVD83) shown hereon are all based on City of College Station Monument No. 11.
  3. Survey is valid only if plot has seal and signature of Surveyor.
  4. Every document of record reviewed and considered as a part of this survey is noted hereon. No contract of title, nor the commitment, nor results of the title searches were furnished to the surveyor. There may exist other documents of record that would affect this parcel.
  5. Locals as specifically stated or shown on this plot, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other possible easements that were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations; and any other facts that an accurate and current title search may detect.
  6. According to the FEMA Flood Insurance Rate Maps for Brazos County, Texas and Incorporated Areas, Map Numbers 480410032E effective May 16, 2012, this property is not located in a Special Flood Hazard Area.
  7. Purpose of this topographic survey is to show current as-built lot grading conditions.
  8. 1/2" Iron Rods (Wardrobes) were found at all lot corners.
  9. As of the date of this survey, GREENS PRAIRIE Reserve final plot has not been filed.
  10. Elevations shown hereon are:  
+ xxx.xx - Ground Elevation  
xxx.xx - Back of Curb Elevation  
= xxx.xx - Top/Grate Inlet



Kevin R. McClure, Registered Professional Land Surveyor No. 5850, State of Texas, hereby certify that this survey was made on the ground under my supervision on July 3, 2019, and that this survey correctly represents the data found at the time of survey and that this professional service conforms to the current Texas Society of Professional Surveyors Standards and Regulations for Category 4, Condition 1 Survey.

**AS-BUILT  
TOPOGRAPHIC SURVEY  
JULY 12, 2019**

**GREENS PRAIRIE RESERVE  
SECTION 1, PHASE 102**

WILLIAM CLARK SURVEY, A-101  
COLLEGE STATION, BRAZOS COUNTY, TEXAS  
FIELD WORK COMPLETED JULY 3, 2019

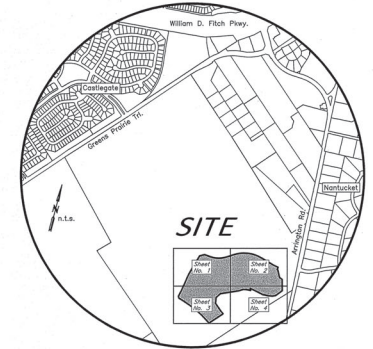
SCALE: 1" = 60'

SHEET NO.  
**1**  
OF 4 SHEETS

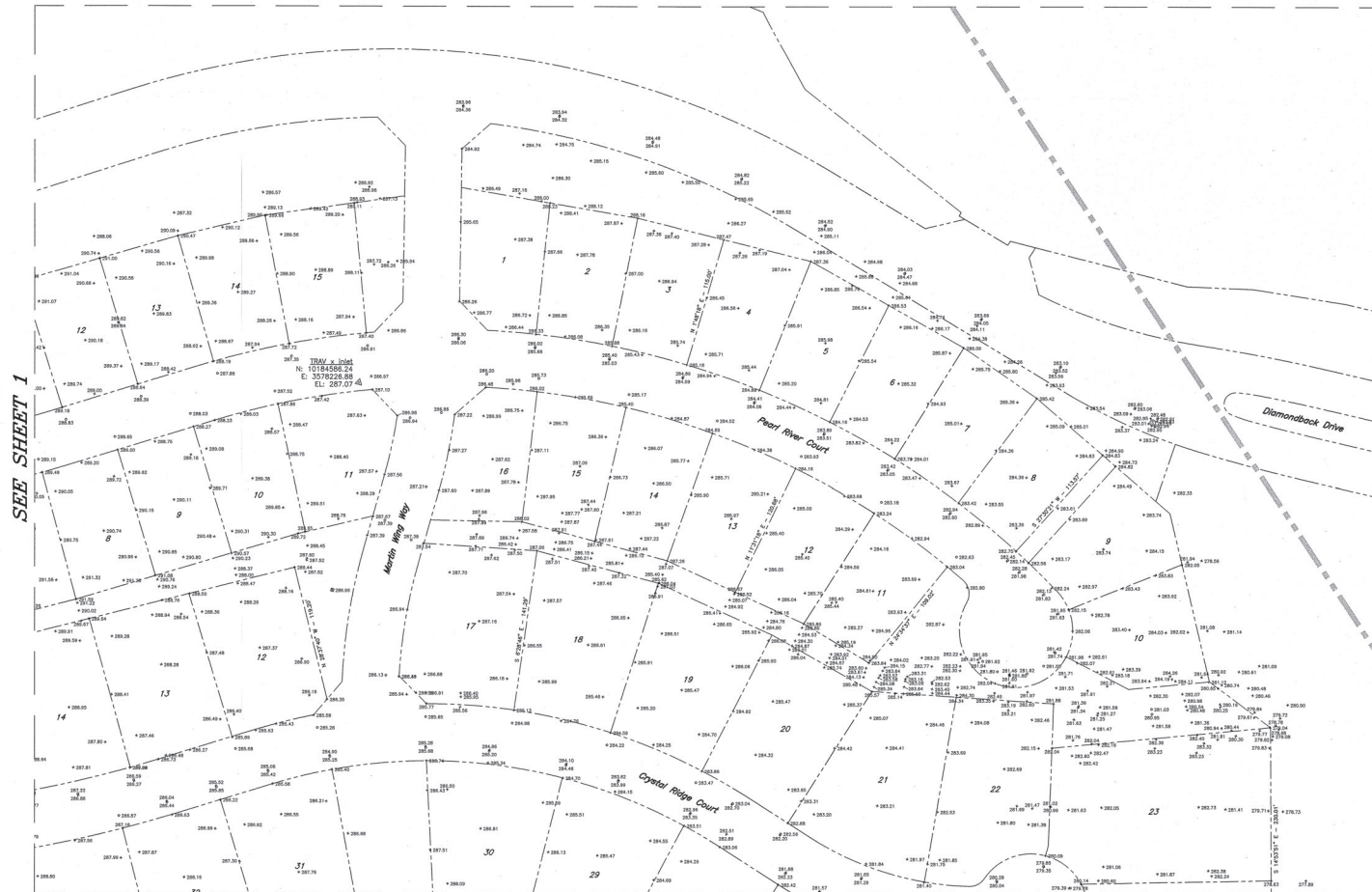
Client:  
OCC CIVIL JV, LLC  
c/o Oldham Goodwin Group  
2600 South Texas Avenue, Suite 401  
Bryan, Texas 77802  
979.266.2200

Surveyor:  
Kevin R. McClure, Registered Professional Land Surveyor No. 5850, State of Texas  
McClure & Browne Engineering/Surveying, Inc.  
1008 Woodcrest Dr., Suite 103  
College Station, Texas 77845  
(979) 683-3635

10/0002097-10-1p.dwg



VICINITY MAP



SEE SHEET 1

SEE SHEET 4

AS-BUILT  
TOPOGRAPHIC SURVEY  
JULY 12, 2019

GREENS PRAIRIE RESERVE  
SECTION 1, PHASE 102

WILLIAM CLARK SURVEY, A-101  
COLLEGE STATION, BRAZOS COUNTY, TEXAS  
FIELD WORK COMPLETED JULY 3, 2019  
SCALE 1" = 50'

SHEET NO.  
**2**  
OF 4 SHEETS

Owner:  
GCC DND JV, LLC  
c/o O'Brien Goodwin Group  
2650 South Texas Avenue, Suite 401  
Bryan, Texas 77802  
979.266.2000

Surveyor: Texas Firm Registration No. 12103300  
McClure & Browne Engineering/Surveying, Inc.  
1008 Woodruff Dr., Suite 103  
College Station, Texas 77845  
(979) 693-3636

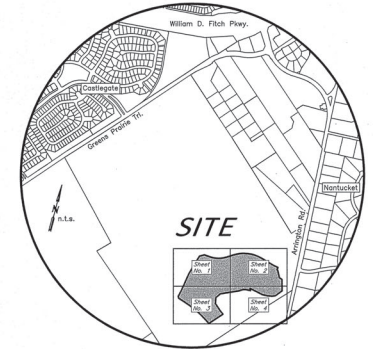
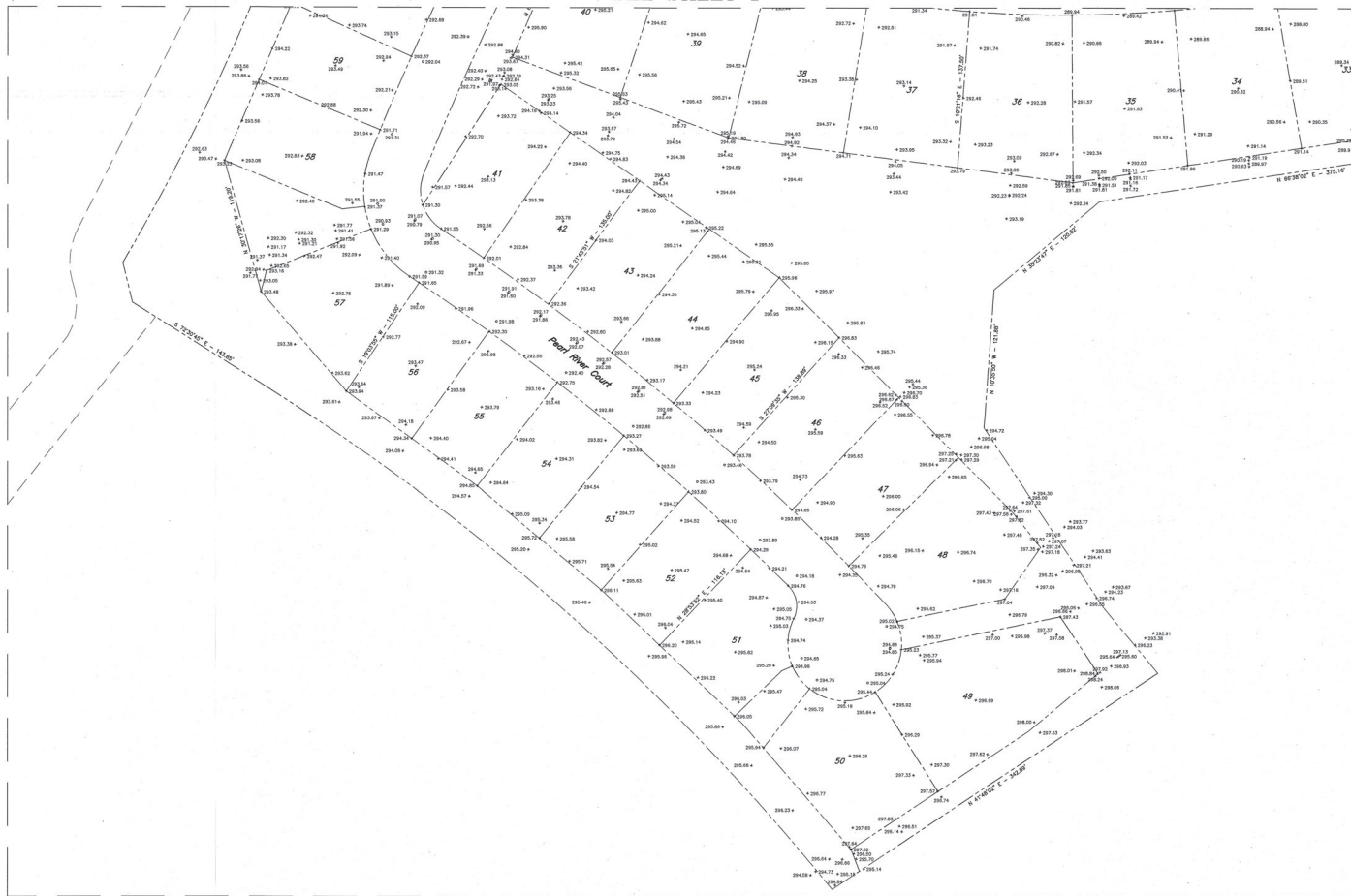
MB

10/002087-16-10.dwg





SEE SHEET 1



VICINITY MAP

SEE SHEET 4

AS-BUILT  
TOPOGRAPHIC SURVEY  
JULY 12, 2019

GREENS PRAIRIE RESERVE  
SECTION 1, PHASE 102

WILLIAM CLARK SURVEY, A-101  
COLLEGE STATION, BRAZOS COUNTY, TEXAS  
FIELD WORK COMPLETED JULY 3, 2019  
SCALE 1" = 50'

SHEET NO.  
**3**  
OF 4 SHEETS

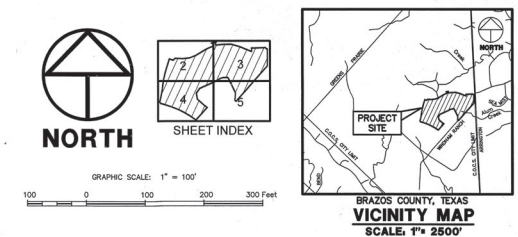
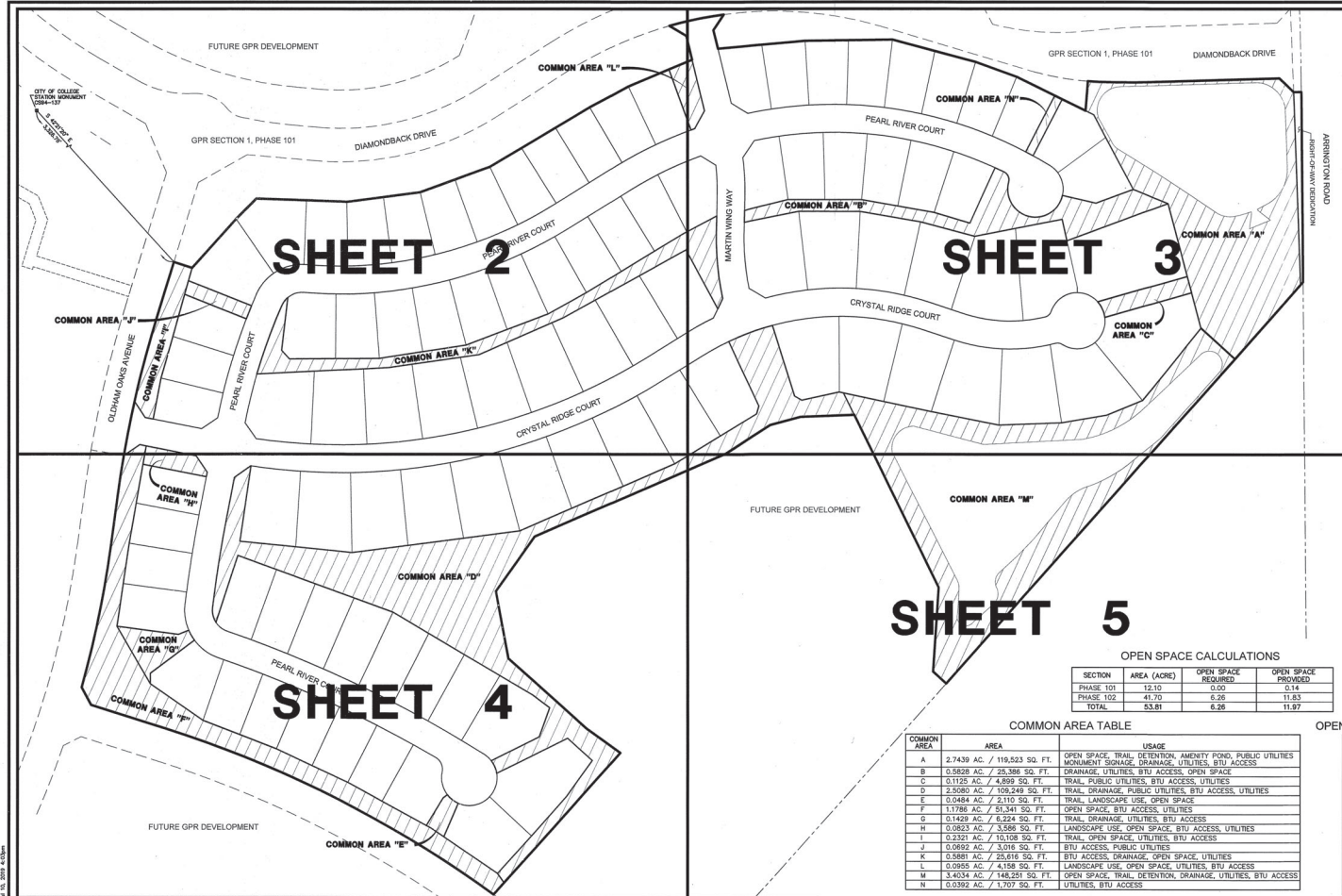
Owner:  
CCC CIVIL, LLC  
c/o Clifton Goodwin Group  
2600 South Texas Avenue, Suite 401  
Bryan, Texas 77802  
979.266.2001

Surveyor: Texas Firm Registration No. 12103300  
McClure & Brown Engineering/Surveying, Inc.  
1008 Woodcrest Dr., Suite 103  
College Station, Texas 77845  
(979) 693-3838

MB







- ### GENERAL NOTES
- BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
  - ALL COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE COORDINATES (NAD 83), AND MAY BROUGHT TO SURFACE BY APPLYING THE FOLLOWING SCALE FACTOR = 0.99999308.
  - ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR BRAZOS COUNTY, TEXAS, MAP NO. 4804030202E, DATED MAY 16, 2012, THE SUBJECT TRACT APPEARS TO BE WITHIN UNFLOODED ZONE "X". THIS DETERMINATION WAS MADE BY GRAPHIC INSPECTION AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT MEAN THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM DAMAGING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOOD CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT BE USED AS A BASIS FOR ANY DECISIONS REGARDING FLOOD DAMAGE OR FLOOD INSURANCE.
  - THE WATER SUPPLY, STREETS, STORM SEWER, SIDEWALKS AND SANITARY SEWER FOR THIS DEVELOPMENT WILL BE DEDICATED TO THE CITY OF COLLEGE STATION AND WILL BE DESIGNED AND CONSTRUCTED TO THE CITY OF COLLEGE STATION SPECIFICATIONS AND STANDARDS. WATERLINES WILL PROVIDE THE REQUIRED FLOW TO HYDRAULIC TO MEET FIRE PROTECTION REQUIREMENTS.
  - ELECTRIC SERVICE FOR THIS DEVELOPMENT WILL BE PROVIDED BY BRYAN TEXAS UTILITIES (B.T.U.). ADDITIONAL EASEMENTS WILL BE PROVIDED AS REQUIRED BY B.T.U. BY SEPARATE INSTRUMENT.
  - BUILDING SETBACK LINES WILL BE IN ACCORDANCE WITH THE CITY OF COLLEGE STATION UNIFIED DEVELOPMENT ORDINANCE.
  - ALL REFERENCES MADE TO THE HOME OWNERS ASSOCIATION (HOA) SHALL BE DEFINED AS "GREENS PRAIRIE RESERVE COMMUNITY ASSOCIATION, INC." ACTIVITIES AND RESPONSIBILITIES OF THE HOA WILL BE OUTLINED IN THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE SUBDIVISION.
  - MAINTENANCE OF THE COMMON AREAS WILL BE BY THE HOME OWNERS ASSOCIATION (HOA) AS OUTLINED IN THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE SUBDIVISION. COMMON AREAS ARE NON-BELIEVABLE FOR RESIDENTIAL PURPOSES. ALL PLANT WORK (TREES, SHRUBS, FLOWERS, DRAINAGE, HEADWALLS, ETC.) SHALL BE THE SOLE OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF THE HOA. THESE AREAS ARE RESTRICTED FOR USE ONLY BY HOMEOWNERS AND THEIR ACCOMPANIED GUESTS UNLESS OTHERWISE SPECIFIED WITH A PUBLIC ACCESS EASEMENT.
  - THE CURRENT ZONING FOR THE SUBJECT PROPERTY IS "RS" - RESTRICTED SUBURBAN - CLUSTER DEVELOPMENT.
  - EXCEPT WHERE NOTED, ALL PROPERTY CORNERS ARE MONUMENTED BY CAPED 3/8-INCH IRON RODS STAMPED "WINDROSE".
  - ALL UTILITY EASEMENTS MUST BE KEPT CLEAR OF ALL BRUSH, TREES, LANDSCAPING, OR PERMANENT STRUCTURES.
  - THE INSTALLATION OF STREET LIGHTS WILL BE REQUIRED AND INSTALLED IN ACCORDANCE WITH SECTION 12-8.3.8 OF THE C.O.C.S. UNIFIED DEVELOPMENT ORDINANCE.
  - A PUBLIC MAINTENANCE EASEMENT (PME) PROVIDES ACCESS TO THE PUBLIC FOR THE INSPECTION, REPAIR, MAINTENANCE, RECONSTRUCTION, MODIFICATION AND REMOVAL OF THE UTILITY FACILITIES THAT ARE LOCATED WITHIN THE PUBLIC RIGHT OF WAY ADJACENT TO THE PME. NO UTILITY FACILITIES OR PERMANENT STRUCTURES MAY BE CONSTRUCTED WITHIN A PME EXCEPT THAT (A) WHERE A UTILITY EASEMENT CROSSES A PME, THE FACILITIES CONTAINED BY SUCH EASEMENT INSTRUMENT MAY BE CONSTRUCTED, AND (B) THE OWNER OF A LOT MAY CONSTRUCT AND INSTALL DRIVEWAYS, LANDSCAPE BORDERS, WALKWAYS, IRRIGATION AND LIGHTING AND FACILITIES INCIDENTAL THERETO WITHIN THE PME OR SUB LOT.
  - A PUBLIC MAINTENANCE EASEMENT (PME) PROVIDES ACCESS TO THE PUBLIC FOR THE INSPECTION, REPAIR, MAINTENANCE, RECONSTRUCTION, MODIFICATION AND REMOVAL OF THE UTILITY FACILITIES THAT ARE LOCATED WITHIN THE PUBLIC RIGHT OF WAY ADJACENT TO THE PME/AC. AND (B) PROVIDES A LOCATION FOR ATMOS GAS FACILITIES TO BE INSTALLED, MAINTAINED, REPAIRED AND REPLACED WITHIN THE PME (15) FEET OF THE PME/AC UNLESS FURTHER FROM THE ADJACENT PUBLIC RIGHT OF WAY. NO UTILITY FACILITIES OR PERMANENT STRUCTURES MAY BE CONSTRUCTED WITHIN A PME/AC EXCEPT THAT (A) ATMOS GAS FACILITIES MAY BE CONSTRUCTED AS DESCRIBED ABOVE, (B) WHERE A BUTU/EO EASEMENT CROSSES A PME, THE FACILITIES CONTAINED BY SUCH EASEMENT INSTRUMENT MAY BE CONSTRUCTED, AND (C) THE OWNER OF A LOT MAY CONSTRUCT AND INSTALL DRIVEWAYS, LANDSCAPE BORDERS, WALKWAYS, IRRIGATION AND LIGHTING AND FACILITIES INCIDENTAL THERETO WITHIN THE PME/AC OR SUB LOT.
  - AREAS DENOTED FOR PRIVATE TRAILS OR BUTU/EO ACCESS SHALL ALSO ALLOW FOR PLACEMENT OF PUBLIC WATER AND PUBLIC SEWER (WHERE DELINEATED BY PME) AND PRIVATE STORM DRAINAGE SYSTEMS.
  - AREAS NOTED AS PRESERVATION AREAS WILL NOT BE RESIDENTIALLY MOVED. THESE AREAS ARE INTENDED TO BE LEFT IN A NATURAL STATE WITH THE EXCEPTION THAT A 2' (MINIMUM) STRIP ADJACENT TO RESIDENTIAL LOTS AND A 2' STRIP ON EITHER SIDE OF TRAILS IS TO BE RESIDENTIALLY MOVED AND MAINTAINED BY THE HOA AS OUTLINED IN THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE SUBDIVISION.
  - PRIVATE DRAINAGE SHALES, DETENTION FACILITIES AND STORM SEWER BEYOND THE LIMITS OF THE RIGHT OF WAY WILL BE MAINTAINED BY THE HOA AS OUTLINED IN THE COVENANTS, CONDITIONS AND RESTRICTIONS OF THE SUBDIVISION. DRAINAGE STRUCTURES WILL BE PLACED TO PROTECT THE DIVISION OF MAINTENANCE RESPONSIBILITIES.

### OPEN SPACE CALCULATIONS

SECTION	AREA (ACRES)	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
PHASE 101	12.10	0.00	0.14
PHASE 102	41.10	6.56	11.83
<b>TOTAL</b>	<b>53.81</b>	<b>6.56</b>	<b>11.97</b>

### COMMON AREA TABLE

COMMON AREA	AREA	USAGE
A	2.7439 AC. / 119,533 SQ. FT.	OPEN SPACE, TRAIL, DETENTION, AMENITY POND, PUBLIC UTILITIES
B	0.5828 AC. / 25,366 SQ. FT.	DRAINAGE, UTILITIES, BUTU ACCESS, OPEN SPACE
C	0.1125 AC. / 4,899 SQ. FT.	TRAIL, PUBLIC UTILITIES, BUTU ACCESS, UTILITIES
D	2.5080 AC. / 109,249 SQ. FT.	TRAIL, DRAINAGE, PUBLIC UTILITIES, BUTU ACCESS, UTILITIES
E	0.0484 AC. / 2,110 SQ. FT.	TRAIL, LANDSCAPE USE, OPEN SPACE
F	1.1786 AC. / 51,341 SQ. FT.	OPEN SPACE, BUTU ACCESS, UTILITIES
G	0.1429 AC. / 6,224 SQ. FT.	TRAIL, DRAINAGE, UTILITIES, BUTU ACCESS
H	0.0523 AC. / 2,288 SQ. FT.	LANDSCAPE USE, OPEN SPACE, BUTU ACCESS, UTILITIES
I	0.2321 AC. / 10,108 SQ. FT.	TRAIL, OPEN SPACE, UTILITIES, BUTU ACCESS
J	0.0692 AC. / 3,016 SQ. FT.	BUTU ACCESS, PUBLIC UTILITIES
K	0.5881 AC. / 25,616 SQ. FT.	BUTU ACCESS, DRAINAGE, OPEN SPACE, UTILITIES
L	0.0955 AC. / 4,158 SQ. FT.	LANDSCAPE USE, OPEN SPACE, UTILITIES, BUTU ACCESS
M	3.4314 AC. / 148,351 SQ. FT.	OPEN SPACE, TRAIL, DETENTION, DRAINAGE, UTILITIES, BUTU ACCESS
N	0.0392 AC. / 1,707 SQ. FT.	UTILITIES, BUTU ACCESS

### OPEN SPACE PROVIDED

COMMON AREA	AREA (AC.)
A	2.14
B	0.58
C	0.11
D	2.51
E	0.05
F	1.18
G	0.14
H	0.08
I	0.23
J	0.07
K	0.59
L	0.10
M	3.41
N	0.04
<b>TOTAL</b>	<b>11.83</b>

### FINAL PLAT

## GREENS PRAIRIE RESERVE

### SECTION 1, PHASE 102

BLOCK 1, LOTS 1-61  
BLOCK 2, LOTS 1-20  
BLOCK 3, LOTS 1-15  
COMMON AREAS A-N

A SUBDIVISION OF  
41.7032 ACRES CONTAINING  
6.1440 AC. R.O.W. DEDICATION AND  
11.8288 AC. COMMON AREA DEDICATION  
SITUATED IN THE  
WILLIAM CLARK SURVEY, ABSTRACT NO. 101  
COLLEGE STATION, BRAZOS COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF BRAZOS

I (we), OGC CNO JV, LLC, owner(s) and developer(s) of the land shown on this plat, and designated herein as the GREENS PRAIRIE RESERVE, SECTION 1, PHASE 102 Subdivision Block 1 Lots 1-61, Block 2 Lots 1-20, Block 3 Lots 1-15, and Common Areas A-N to the City of College Station, Texas, and whose name(s) is/are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, paths, easements, infrastructure, easements, and public places thereon shown for the purpose and consideration therein expressed. All such dedications shall be in fee simple unless expressly provided otherwise.

*[Signature]*  
Owner / Authorized Agent

Before me, the undersigned authority, on this day personally appeared Cathy Oldham, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this 11th day of July, 2019.

*[Signature]*  
Notary Public, Brazos County, Texas (Seal)

CERTIFICATE OF CITY ENGINEER

*[Signature]*  
City Engineer of the City of College Station, Texas, hereby certify that this Subdivision conforms to the requirements of the Subdivision Regulations of the City of College Station, Texas.

*[Signature]*  
Chairman of the Planning and Zoning Commission of the City of College Station, Texas, hereby certify that the attached plat was duly approved by the Commission on the 28th day of June, 2019.

I, Robert Kness, am authorized under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate, was prepared from an actual survey of the property made under my supervision on the ground, that, except as shown all boundary corners, angle points, points of curvature and other points of reference have been marked with iron (or other objects of a permanent nature) pipes or rods having an outside diameter of not less than five sixteenths (5/16) inch and a length of not less than three (3) feet; and that the said boundary corners have been tied to the Texas Coordinate System of 1983, south central zone.

*[Signature]*  
Robert Kness  
Registered Professional Land Surveyor  
Texas Registration No. 6486

CERTIFICATE OF THE COUNTY CLERK

Filed for Record  
Official Public Records Of:  
Brazos County Clerk  
On: 7/12/2019 9:11:17 AM  
in the PLAT Records

Doc Number: 2019-1366463  
Volume - Page: 1646-141  
Number of Pages: 5  
Amount: 73.00  
Order#: 2019072600014  
By: MO

in and for said county, do hereby certify  
attestation was filed for record in my  
\_\_\_\_\_ 2019, in the Deed  
Page \_\_\_\_\_  
in Bryan, Texas.

*[Signature]*  
County Clerk  
Brazos County, Texas

### ABBREVIATIONS

P.D.E. - PRIVATE DRAINAGE EASEMENT  
P.O.E. - PUBLIC DRAINAGE EASEMENT  
C.M.T. - EASEMENT  
F.O. - FOUND  
B.C.C.F. - BRAZOS COUNTY CLERK FILE  
B.C.C.R. - BRAZOS COUNTY CLERK RECORDS  
B.C.M.R. - BRAZOS COUNTY MAP RECORDS  
IP - IRON PIPE  
IR - IRON ROD  
NO. - NUMBER  
PG. - PAGE  
R.O.K. - RIGHT-OF-WAY  
SQ. FT. - SQUARE FEET  
P.U.E. - PUBLIC UTILITY EASEMENT  
G.P.R. - GREENS PRAIRIE RESERVE  
B.T.U. - BRYAN TEXAS UTILITIES EASEMENT  
B.T.U./A.O. - BRYAN TEXAS UTILITIES / FIBER OPTIC EASEMENT  
P.M.E. - PUBLIC MAINTENANCE EMT  
P.M.E./A.C. - PUBLIC MAINTENANCE EMT / ATMOS EMT  
① - BLOCK NUMBER  
② - PRESERVATION AREA (SEE NOTE 15)

Surveyor

*[Signature]*  
Owner

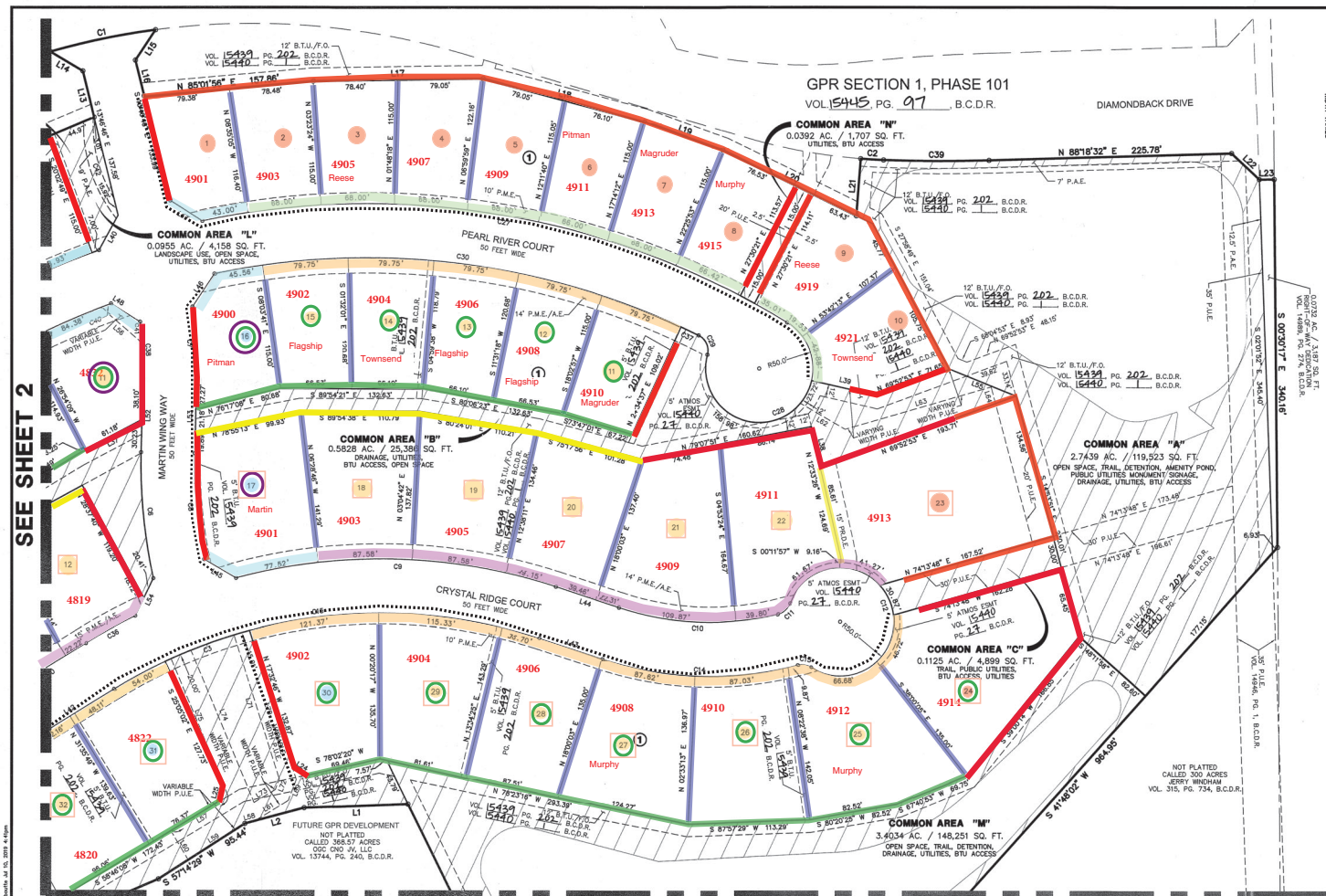
OGC CNO JV, LLC  
C/O OLDHAM GOODWIN GROUP  
2800 SOUTH TEXAS AVENUE, SUITE 401  
BRYAN, TX 77802  
979.288.2000

**WINDROSE**  
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SHEET 3 OF 5







